

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
JUNE 13, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## (I) CALL TO ORDER

## (II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

## (III) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

## (IV) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- (2) Approval of minutes for the May 30, 2023 Planning and Zoning Commission meeting.

### (3) **P2023-012 (HENRY LEE)**

Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Final Plat for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 98 (PD-98) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

### (4) **SP2023-016 (HENRY LEE)**

Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Site Plan for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

## (V) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

### (5) **Z2023-024 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

(6) **Z2023-025 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

(7) **Z2023-026 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-16) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

(8) **Z2023-027 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

(9) **Z2023-028 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

(VI) **ACTION ITEMS**

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(10) **MIS2023-007 (BETHANY ROSS)**

Discuss and consider a request by Jeff & Dana Macalik for the approval of a Miscellaneous Case for an Exception to allow a front yard fence on a 0.2548-acre parcel of land identified as Lot 22, Block A, Chandlers Landing #7 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 6102 Volunteer Place, and take any action necessary.

(VII) **DISCUSSION ITEMS**

(11) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2023-013: Replat for Lot 2, Block A, Pregnancy Resource Center Addition (**APPROVED**)
- P2023-014: Replat for Lots 3 & 4, Block 1, Meadowcreek Business Center Addition (**APPROVED**)
- Z2023-021: Zoning Change (SF-10 to SF-7) for 405 N. Alamo Street (**2<sup>ND</sup> READING; APPROVED**)
- Z2023-022: Specific Use Permit (SUP) for a Freestanding Commercial Antenna (**2<sup>ND</sup> READING; APPROVED**)
- Z2023-023: Text Amendment for an Alcoholic Beverage Package Sales Land Use (**2<sup>ND</sup> READING; APPROVED**)

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on June 9, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
MAY 30, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND  
4 SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## 5 6 I. CALL TO ORDER

7  
8 **Vice-Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were Jerry Welch, John Womble, Jean Conway and Ross  
9 Hustings. Absent from the meeting was Commissioner Brian Llewelyn. Staff members present were Director of Planning and Zoning Ryan Miller,  
10 Planners Bethany Ross and Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams,  
11 Assistant City Engineer Jonathan Browning and Civil Engineer Sarah Johnston.**

## 12 13 II. APPOINTMENTS

- 14  
15 1. **Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for  
16 items on the agenda requiring architectural review.**

## 17 18 III. OPEN FORUM

19  
20 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the  
21 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN  
22 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings  
23 Act.*

24  
25 **Vice-Chairman Deckard explained how the open forum is conducted and asked if anyone wished to speak to come forward at this time; there being  
26 no one indicating such, Chairman Deckard closed the open forum.**

## 27 28 IV. CONSENT AGENDA

29  
30 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)  
31 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- 32  
33 2. Approval of minutes for the May 9, 2023 Planning and Zoning Commission meeting.

### 34 35 3. **P2023-013 (HENRY LEE)**

36 Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Joanne Vuckovic of the Pregnancy Resource Center for the approval of a  
37 Replat for Lot 2, Block A, Pregnancy Resource Center Addition being a 0.32-acre tract of land identified as Lot 1, Block A, Pregnancy Resource Center Addition,  
38 City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road [FM-740], and take any action  
39 necessary.

### 40 41 4. **P2023-014 (HENRY LEE)**

42 Consider a request by John Gardner of Kirkman Engineering on behalf of Jesus Sanchez of Victory Shops on 205, LLC for the approval of a Replat for Lots 3  
43 & 4, Block 1, Meadowcreek Business Center Addition being a 1.93-acre tract of land identified as Lots 1 & 2, Block 1, Meadowcreek Business Center Addition,  
44 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2325 S. Goliad  
45 Street [SH-205], and take any action necessary.

46  
47 **Commissioner Womble made a motion to approve the consent agenda. Commissioner Conway seconded the motion which passed by a vote of 5-0.**

## 48 49 V. ACTION ITEMS

50  
51 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special  
52 exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

- 53  
54 5. Hold an election to elect a Chairman and Vice-Chairman for the Planning and Zoning Commission in accordance with Subsection 03.03(B) of Article 02,  
55 Development Review Authority, of the Unified Development Code (UDC), and take any action necessary.

56  
57 **Commissioner Womble nominated Vice-Chairman Derek Deckard to be Chairman. Commissioner Hustings seconded the motion which passed by a  
58 vote of 5-0.**

59  
60 **Commissioner Hustings nominated Commissioner John Womble to be Vice-Chairman. Commissioner Conway seconded the motion which passed  
61 by a vote of 5-0.**

- 62  
63 6. **P2023-012 (HENRY LEE) [POSTPONED TO THE JUNE 13, 2023 PLANNING AND ZONING COMMISSION MEETING]**

64 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Final Plat for the Park  
65 Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin  
66 Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned  
67 Planned Development District 98 (PD-98) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay  
68 (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action  
69 necessary.

70  
71 **Chairman Deckard advised that this item was postponed to the June 13, 2023, Planning and Zoning Commission meeting.**  
72

73 **7. SP2023-016 (HENRY LEE) [POSTPONED TO THE JUNE 13, 2023 PLANNING AND ZONING COMMISSION MEETING]**  
74 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Site Plan for the Park  
75 Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin  
76 Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned  
77 Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay  
78 (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action  
79 necessary.  
80

81 **Chairman Deckard advised that this item was postponed to the June 13, 2023, Planning and Zoning Commission meeting.**  
82

83 **8. SP2023-017 (BETHANY ROSS)**  
84 Discuss and consider a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a *retail*  
85 *shopping center and house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall,  
86 Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard  
87 north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.  
88

89 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting a site plan for development of a house of**  
90 **worship and commercial retail shopping center. The applicant's site plan generally meets the Commercial (C) District standards and Overly (OV)**  
91 **District standards; however, the applicant is requesting a variance to the four-sided architecture requirements, roof design standards and the parking**  
92 **requirements of the Overlay (OV) District standards. The applicant has provided additional shrubbery along the north and west property lines to**  
93 **compensate for the variances. Staff has also added a condition of approval that the applicant provide two accent trees to the back of the building to**  
94 **better meet the four-sided architecture requirement. Planner Ross advised that ARB was not able to have a quorum but staff was available for any**  
95 **questions.**  
96

97 **Director of Planning and Zoning Miller advised that the applicant did end up addressing all of ARB's recommendations.**  
98

99 **Commissioner Welch asked about the parking variance.**  
100 **Commissioner Hustings asked if the applicant had worked with staff to resubmit.**  
101 **Commissioner Welch asked if there were still going to be outside speakers.**  
102

103 **Vice-Chairman Womble asked why there was a change in parking from the last submittal.**  
104

105 **Vice-Chairman Womble made a motion to approve SP2023-017 with the conditions of approval made by staff. Commissioner Hustings seconded the**  
106 **motion which passed by a vote of 5-0.**  
107

108 **9. SP2023-018 (HENRY LEE)**  
109 Discuss and consider a request by David Osborn of RACK Holdings for the approval of an Amended Site Plan for an existing industrial building on a 1.50-acre  
110 parcel of land identified as Lot 11, Block A, 205 Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District,  
111 addressed as 525 National Drive, and take any action necessary.  
112

113 **Planner Henry Lee provided a brief summary in regards to the request. On April 24, 2023, staff received a Certificate of Occupancy request from the**  
114 **prospective business going into this property and they indicated that they would have outside storage as part of this use. Staff informed them that**  
115 **outside storage was not permitted within Heavy Commercial (HC) District without the appropriate screening and then this prompted the applicant to**  
116 **submit the request for an amended site plan. The site plan provided shows the outside storage located behind the existing chain link fence as well**  
117 **as partially behind the building. They also indicated they would plant and stagger nine (9) evergreen cedar trees to reduce visibility from National**  
118 **Drive.**  
119

120 **Commissioner Welch made a motion to approve SP2023-018. Commissioner Hustings seconded the motion which passed by a vote of 5-0.**  
121

122 **10. MIS2023-006 (BETHANY ROSS)**  
123 *Discuss and consider a request by George and Dottie Corder for the approval of a Miscellaneous Case for an Exception for a front yard fence on a 0.4037-acre*  
124 *parcel of land identified as Lot 9, Block M, Caruth Lakes Addition, Phase 7B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5*  
125 *(PD-5) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 1540 Palasades Court,*  
126 *and take any action necessary.*

127 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting a front yard fence along the north property**  
128 **line that will be constructed using standard cedar fencing and will be three (3) feet in height as well as 50% transparent. The applicant is also**  
129 **requesting an exception to use wood posts instead of the stainless-steel posts that are required based on the landscape and fence standards of the**

130 UDC. The addition of the front yard fence does not appear to impair the visibility of the primary structure or adversely affect any neighboring  
131 properties.

132  
133 **George Corder**  
134 **1450 Palasades Court**  
135 **Rockwall, TX 75087**

136  
137 **Mr. Corder came forward and provided additional details in regards to the request.**

138  
139 **Commissioner Conway asked where the fence would be.**

140  
141 **Vice-Chairman Womble made a motion to approve MIS2023-006. Commissioner Conway seconded the motion which passed by a vote of 5-0.**

142  
143 **VI. DISCUSSION ITEMS**

144  
145 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*  
146 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*  
147 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*  
148 *following cases is June 13, 2023.*

149  
150 **11. Z2023-024 (ANGELICA GUEVARA)**

151 Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established  
152 Subdivision for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition,  
153 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any  
154 action necessary.

155  
156 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting an approval for a Specific**  
157 **Use Permit (SUP) for a residential infill in Chandler's Landing. It does meet most of the requirements for property in PD-8 with the exception of the**  
158 **garage orientation and the roof pitch requirements.**

159  
160 **Chairman Deckard advised that this item will come back before the Commission for discussion or action on June 13, 2023.**

161  
162 **12. Z2023-025 (BETHANY ROSS)**

163 Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a *Specific Use Permit*  
164 *(SUP)* for an Accessory Building on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall  
165 County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

166  
167 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit for the construction of**  
168 **a 190-square foot shed in the backyard.**

169  
170 **Deborah Julian**  
171 **3065 Winecup Lane**  
172 **Rockwall, TX 75087**

173  
174 **Commissioner Conway asked if the applicant lived within an HOA.**

175  
176 **Chairman Deckard advised that this item will come back before the Commission for discussion or action on June 13, 2023.**

177  
178 **13. Z2023-026 (ANGELICA GUEVARA)**

179 Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-  
180 Family 16 (SF-16) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County,  
181 Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

182  
183 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting a Zoning Change from an**  
184 **Agricultural (AG) District to a Single-Family 16 (SF-16) District for the purpose of later constructing a single-family home on the lot.**

185  
186 **Chairman Deckard advised that this item will come back before the Commission for discussion or action on June 13, 2023.**

187  
188 **14. Z2023-027 (ANGELICA GUEVARA)**

189 Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established  
190 Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20  
191 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane,  
192 and take any action necessary.

193  
194 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting approval of a Specific Use**  
195 **Permit to construct a single-family home on the lot. The request meets most of the requirements for a property in PD-8.**

196  
197 **Chairman Deckard advised that this item will come back before the Commission for discussion or action on June 13, 2023.**

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15. **Z2023-028 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

**Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting approval of a Specific Use Permit for the purpose of constructing a single-family home in Lake Rockwall Estates. . The request meets most of the requirements for a property in PD-75 with the exception of the garage orientation.**

**Alex Flores  
1070 N. Ben Payne Road  
Rockwall, TX 75087**

**Mr. Flores came forward and was prepared to answer questions.**

**Chairman Deckard advised that this item will come back before the Commission for discussion or action on June 13, 2023.**

16. *Director's Report* of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2023-010: Master Plat for the Discovery Lakes Subdivision (**APPROVED**)
- P2023-011: Preliminary Plat for Phase 2 of the Discovery Lakes Subdivision (**APPROVED**)
- Z2023-021: Zoning Change (SF-10 to SF-7) for 405 N. Alamo Street (**1<sup>ST</sup> READING; APPROVED**)
- Z2023-022: Specific Use Permit (SUP) for a *Freestanding Commercial Antenna* (**1<sup>ST</sup> READING; APPROVED**)
- Z2023-023: Text Amendment for a *Alcoholic Beverage Package Sales* Land Use (**APPROVED; 1<sup>ST</sup> READING**)

**Director of Planning and Zoning Ryan Miller provided a brief update about the outcomes of the above referenced cases at the City Council meeting.**

VII. ADJOURNMENT

**Chairman Deckard adjourned the meeting at 6:32 pm.**

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Derek Deckard, Chairman

Attest:

\_\_\_\_\_  
Melanie Zavala, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** June 13, 2023  
**APPLICANT:** Ryan Joyce; *Michael Joyce Properties*  
**CASE NUMBER:** P2023-012; *Final Plat for the Park Hills Subdivision*

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### SUMMARY

Consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Final Plat for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 98 (PD-98) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Final Plat for a 65.309-acre parcel of land (*i.e. Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183*) for the purpose of establishing the Park Hills Subdivision, which will consist of 144 single-family residential lots and 13 open space lots (*i.e. Lots 1-20, Block A; Lots 1-9, Block B; Lots 1-28, Block C; Lots 1-52, Block D; Lots 1-27, Block E; Lots 1-22, Block F, Park Hills Subdivision*).
- Background. A portion of the subject property was annexed by the City Council on February 6, 1961 through the adoption of *Ordinance No. 60-01 (Case No. A1960-001)*. Based on the January 3, 1972 Historic Zoning Maps, this portion of the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District at some point between February 6, 1961 and January 3, 1972. On January 9, 1984 the City Council approved *Ordinance No. 84-06* changing the zoning of a portion of the subject property from a Light Industrial (LI) District to a Two-Family (2F) District for the purpose of facilitating a townhome development (*Case No. 1983-048-01*). Approved concurrently with this zoning change, the City Council also approved a Preliminary Plat (*Case No. 1983-049-01*) and Site Plan (*Case No. 1983-049-02*) for the townhome development. On April 10, 1984 a Final Plat for the Oak Creek Subdivision, consisting of 78 townhome lots on 18.37-acres, was filed with Rockwall County. The remainder of the subject property was annexed into the City of Rockwall on March 16, 1998 by *Ordinance No. 98-10 (Case No. A1998-001)*. At the time of annexation this property was zoned Agricultural (AG) District. On September 6, 2022, the City Council approved a zoning change for the subject property changing the zoning from an Agricultural (AG) District, Light Industrial (LI) District, and Two-Family (2F) District to Planned Development District 97 (PD-97) (*Ordinance No. 22-46; Case No. Z2022-037*) for Single-Family 8.4 (SF-8.4) District land uses. On October 17, 2022, the City Council approved a Preliminary Plat (*Case No. P2022-047*) for the Park Hill Subdivision.
- Parks Board. On May 2, 2023, the Parks and Recreation Board reviewed the Final Plat and made the following recommendations concerning the proposed subdivision:
  - (1) The property owner shall pay *Pro-Rata Equipment* fees of \$100,484.40 (*i.e. \$697.81 x 144 Lots*).
  - (2) The property owner would pay *Cash-In-Lieu of Land Fees* of \$107,069.76 (*i.e. \$743.54 x 144 Lots*); however, the developer is donating 1.855 acres of park land that is currently located on and adjacent to the Harry Myers Disc Golf

Course. The Park and Recreation Department is accepting this donation and not collecting *Cash-In-Lieu of Land Fees*.

- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications, submittal requirements, and conformance to the items listed in the Conditions of Approval section of this case memo.
- ☑ Conditions of Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for the *Park Hills Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to release of the civil engineering plans; and,
- (2) The development shall adhere to the Parks and Recreation Department's recommendations as outlined above in this case memo; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1</sup> & <sup>2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS John King Blvd, Rockwall, TX 75087

SUBDIVISION Park Hills : ABS A0183, G W Redlin Tract 1, 6-1, 6 LOT BLOCK

GENERAL LOCATION Southwest of Intersection at John King Blvd & Williams Street (Hwy 66)

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development PD-97 CURRENT USE Planned Development PD-97

PROPOSED ZONING PROPOSED USE

ACREAGE 65.309 LOTS [CURRENT] 152 LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E-MAIL meredith@michaeljoyceproperties.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING.

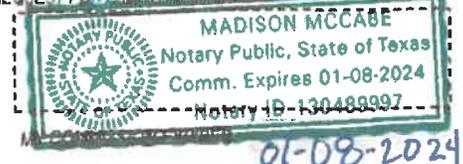
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1606.18 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF March 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

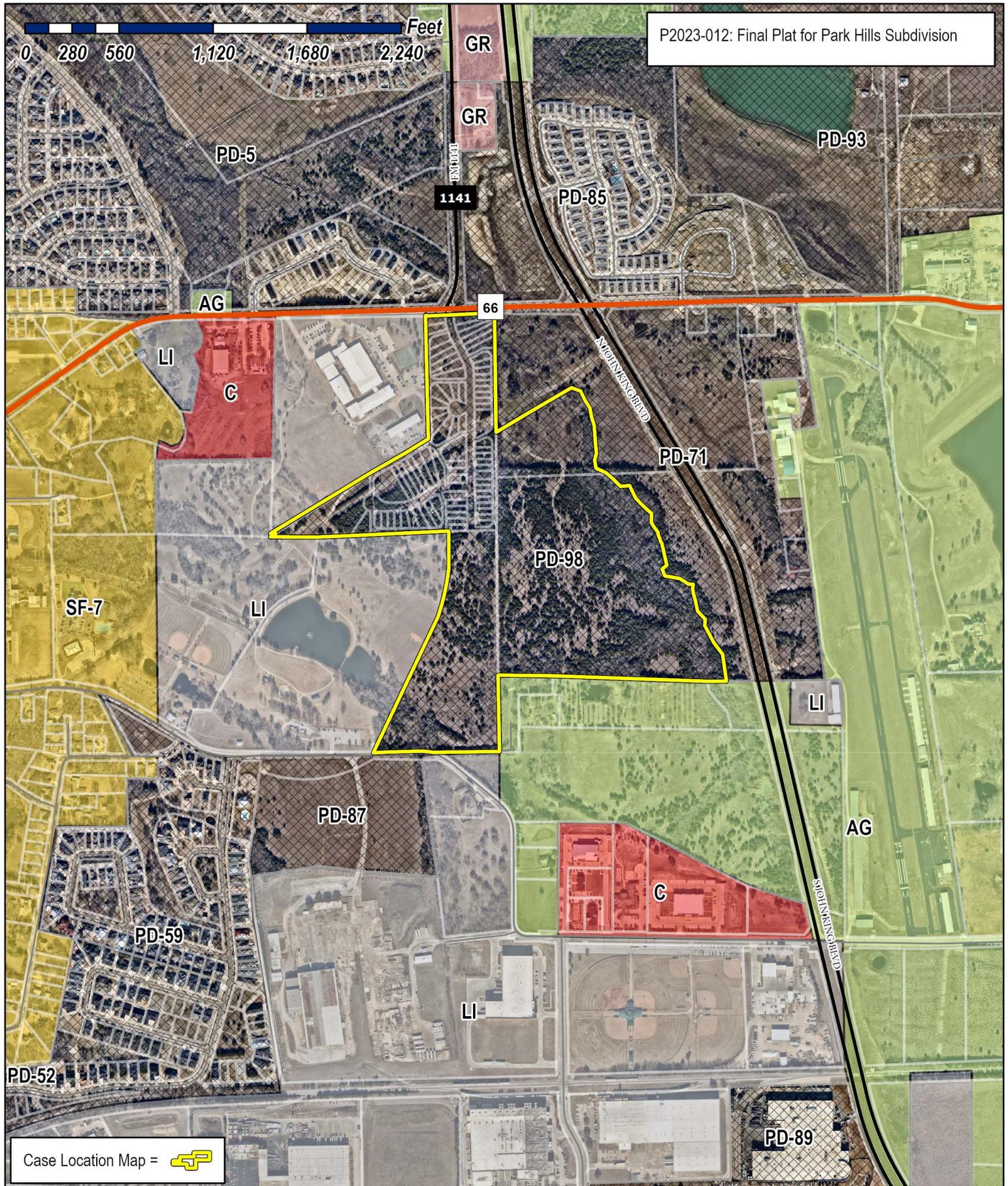
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF March 2023

OWNER'S SIGNATURE

John Vick  
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





P2023-012: Final Plat for Park Hills Subdivision

0 280 560 1,120 1,680 2,240 Feet

Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





589 15 02 W 297.57

# MATCHLINE - SHEET 1 OF 5

MUNICIPAL PARK ADDITION  
CABINET B, SLIDE 49  
P.R.R.C.T.

20' WATERLINE EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
VOL. 756, PG. 277  
D.R.R.C.T.

CITY OF ROCKWALL  
VOLUME 2163, PAGE 96  
D.R.R.C.T.

ZONED: LI

FLOODPLAIN LIMIT &  
DRAINAGE EASEMENT  
ZONE "A" FEMA  
FIRM PANEL NO.  
46397C0040L

30' LANDSCAPE  
BUFFER

EROSION  
HAZARD  
SETBACK

VARIABLE WIDTH  
DRAINAGE &  
DETENTION ESMT

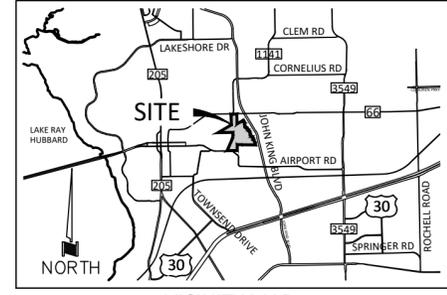
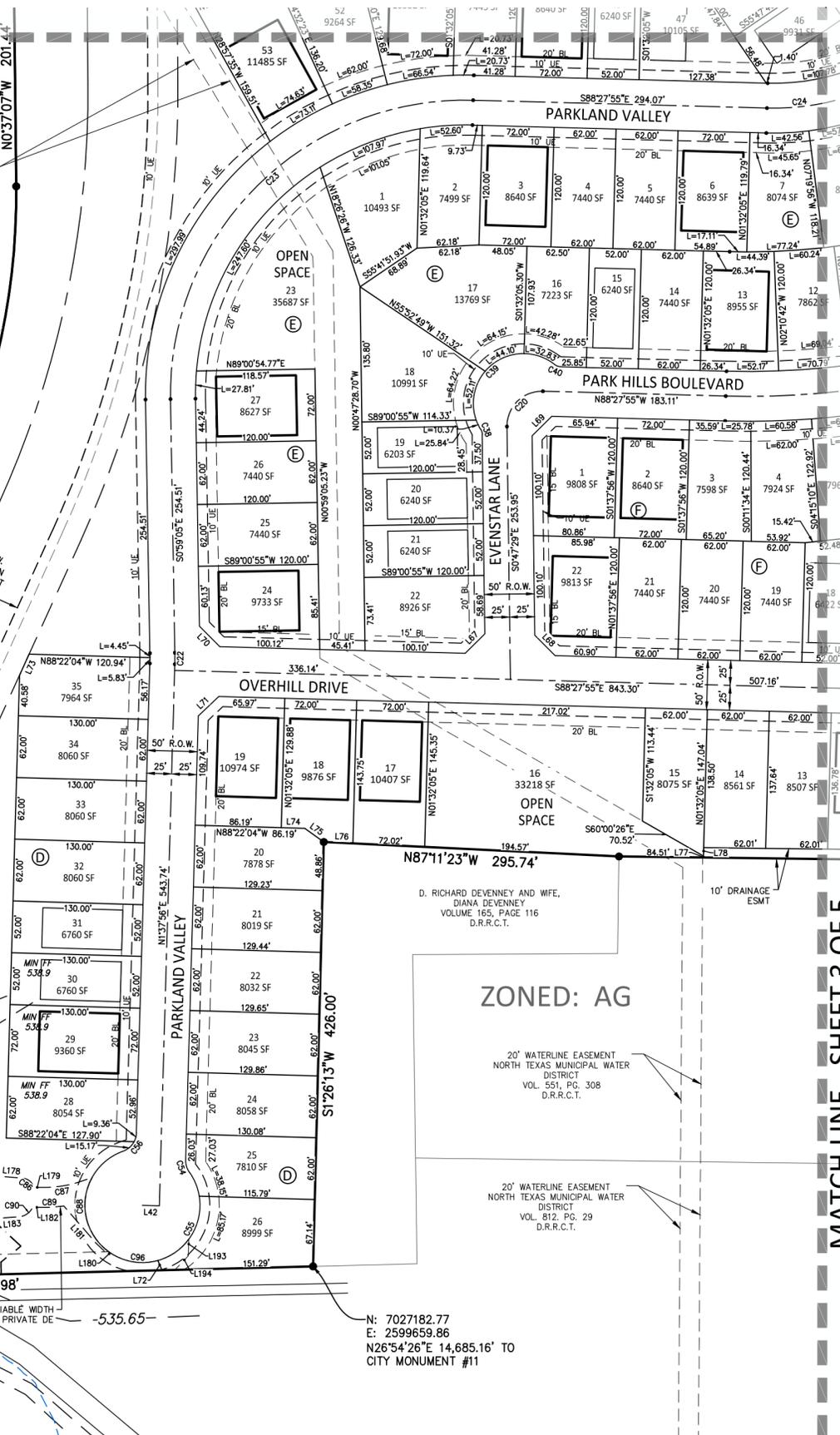
20' PRIVATE DE

DRAINAGE &  
DETENTION  
ESMT

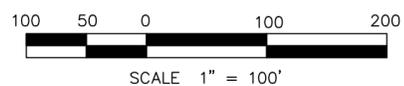
100'-R/W  
WSEL  
= 536.99

20' UE  
BY THIS  
PLAT

VARIABLE WIDTH  
PRIVATE DE



- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre  
BL Building Line  
C1 Curve No.  
<CM> Control Monument  
DE Drainage Easement  
DUE Drainage Utility Easement  
Esmt Easement  
L1 Line No.  
SF Square Feet  
UE Utility Easement  
VE Visibility Easement  
D.R.R.C.T. = Deed Records of Rockwall County, Texas



## FINAL PLAT PARK HILLS

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF

144 SINGLE FAMILY LOTS AND  
13 OPEN SPACE LOTS

SITUATED WITHIN  
TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183

CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

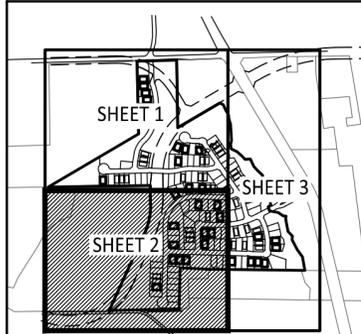
P2023-012

May 31, 2023

EXIST. ZONING: PD-98

LAND USE: SF

SHEET 2 OF 5

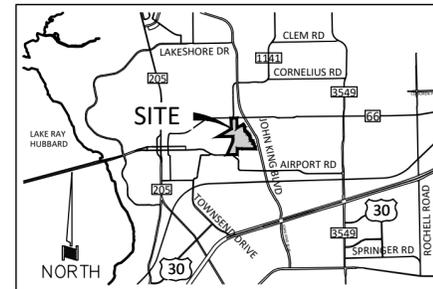


KEY MAP

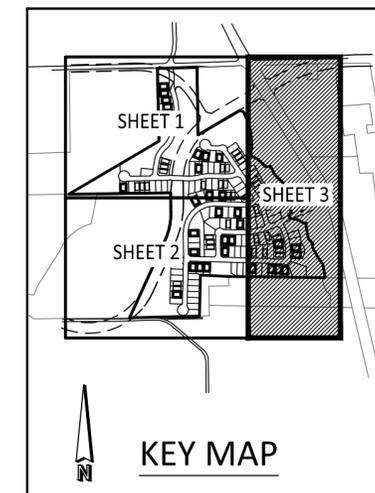
Owner/Applicant:  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE

JOHNSON VOLK  
CONSULTING  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

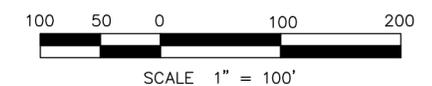


VICINITY MAP  
N.T.S.



KEY MAP

- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - ⊙ 1/2" IRF (unless otherwise noted)
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C1 Curve No.  
<CM> Control Monument  
DE Drainage Easement  
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GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

P2023-012

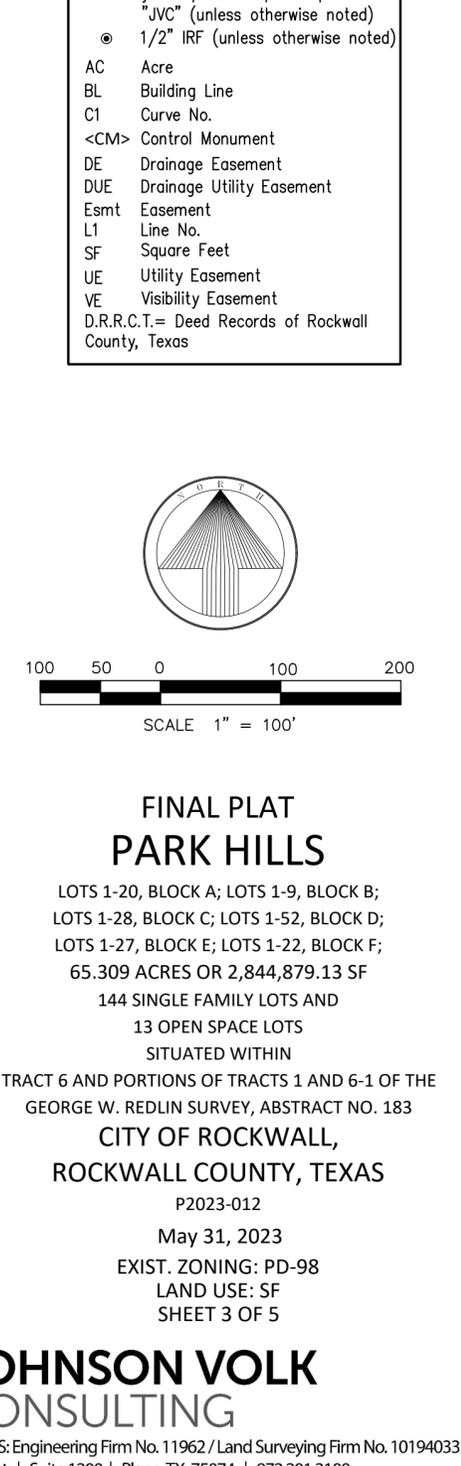
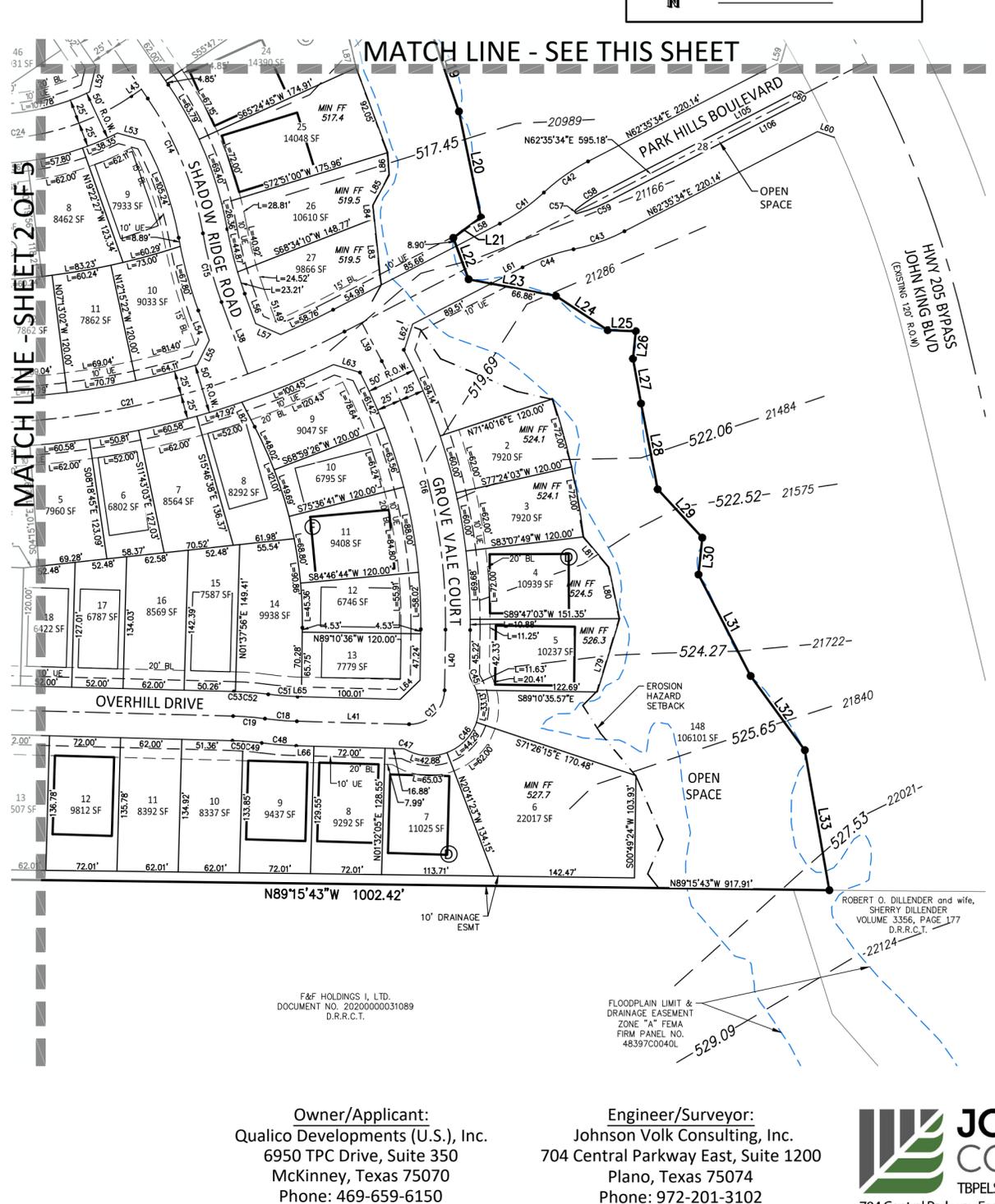
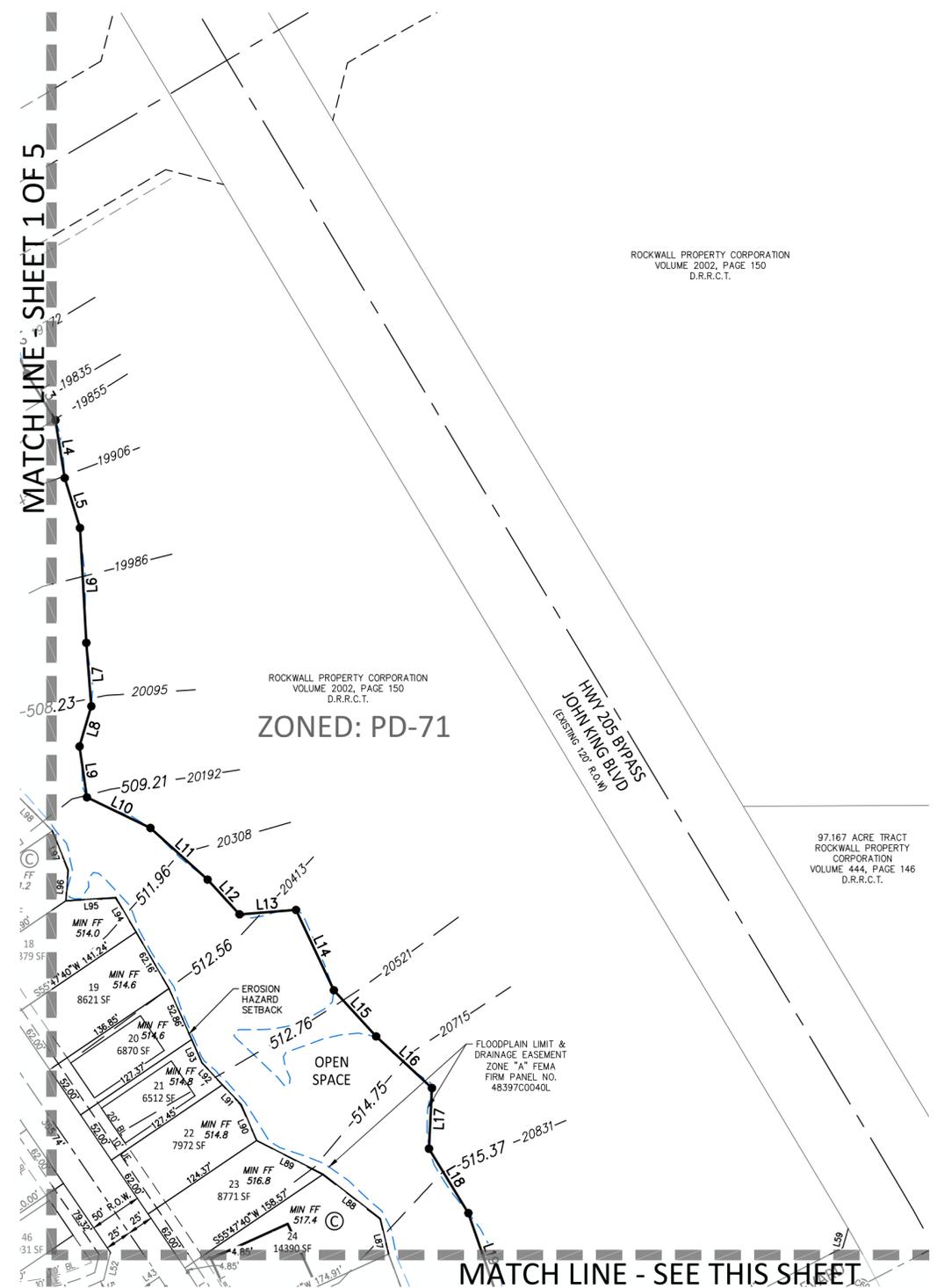
May 31, 2023

EXIST. ZONING: PD-98  
LAND USE: SF  
SHEET 3 OF 5

**Owner/Applicant:**  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE

**JOHNSON VOLK  
CONSULTING**  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



ROCKWALL PROPERTY CORPORATION  
VOLUME 2002, PAGE 150  
D.R.R.C.T.

ROCKWALL PROPERTY CORPORATION  
VOLUME 2002, PAGE 150  
D.R.R.C.T.  
**ZONED: PD-71**

97.167 ACRE TRACT  
ROCKWALL PROPERTY CORPORATION  
VOLUME 444, PAGE 146  
D.R.R.C.T.

F&F HOLDINGS I, LTD.  
DOCUMENT NO. 2020000031089  
D.R.R.C.T.

FLOODPLAIN LIMIT &  
DRAINAGE EASEMENT  
ZONE "A" FEMA  
FIRM PANEL NO.  
48397C0040L

MATCH LINE - SEE THIS SHEET

MATCH LINE - SEE THIS SHEET

MATCH LINE - SHEET 2 OF 5

MATCH LINE - SHEET 1 OF 5

Line Table		
Line	Length	Direction
L1	40.60	S69° 21' 48"E
L2	64.89	S25° 06' 25"E
L3	51.80	S31° 25' 37"E
L4	55.61	S9° 09' 13"E
L5	49.61	S16° 55' 05"E
L6	109.33	S3° 11' 20"E
L7	60.49	S4° 27' 24"E
L8	39.76	S16° 19' 49"W
L9	48.89	S8° 12' 45"E
L10	66.87	S64° 09' 47"E
L11	73.04	S47° 50' 45"E
L12	44.81	S42° 29' 55"E
L13	53.72	N85° 31' 53"E
L14	84.31	S25° 10' 09"E
L15	59.42	S42° 22' 14"E
L16	72.07	S47° 09' 28"E
L17	57.76	S2° 46' 29"W
L18	71.66	S31° 26' 15"E
L19	88.10	S18° 53' 46"E
L20	110.02	S11° 41' 53"E
L21	34.88	S53° 25' 21"W
L22	44.84	S20° 12' 22"E
L23	90.02	S79° 08' 23"E
L24	62.92	S56° 28' 11"E
L25	28.55	S87° 49' 07"E
L26	28.02	S5° 58' 08"W
L27	46.33	S10° 07' 55"E
L28	88.76	S10° 56' 13"E
L29	66.83	S42° 32' 37"E
L30	37.66	S5° 48' 00"W
L31	115.84	S27° 06' 51"E
L32	93.26	S36° 05' 07"E
L33	144.51	S9° 53' 27"E
L34	65.23	S2° 04' 28"E
L35	25.00	N1° 14' 53"W
L36	15.39	S22° 50' 48"W
L37	86.48	S88° 27' 55"E
L38	77.75	S20° 01' 20"E
L39	44.07	N27° 24' 26"W
L40	61.64	S0° 49' 24"W
L41	113.76	S88° 27' 55"E
L42	17.00	N88° 22' 04"W
L43	12.44	N55° 47' 40"E
L44	28.74	N47° 26' 59"W
L45	27.70	N42° 28' 16"E
L46	29.47	S46° 12' 57"W
L47	26.98	S43° 39' 22"E
L48	6.69	S88° 45' 07"W
L49	37.31	N67° 20' 11"W
L50	25.61	N15° 58' 42"E
L51	30.30	N74° 58' 04"W
L52	26.83	N13° 40' 06"E
L53	28.46	N74° 48' 07"W
L54	32.36	N20° 01' 20"W
L55	27.66	N26° 13' 25"E
L56	32.36	S20° 01' 20"E
L57	27.66	N66° 16' 04"W
L58	49.54	N62° 35' 34"E
L59	18.92	N16° 08' 24"E
L60	18.46	S70° 57' 16"E

Line Table		
Line	Length	Direction
L61	35.86	N62° 35' 34"E
L62	28.28	N17° 35' 38"E
L63	27.89	N73° 13' 08"W
L64	28.11	N46° 10' 45"E
L65	3.88	S88° 27' 55"E
L66	17.93	S88° 27' 55"E
L67	27.70	N45° 22' 18"E
L68	28.85	S44° 37' 42"E
L69	27.71	N45° 22' 02"E
L70	28.90	N44° 43' 30"W
L71	28.31	S46° 35' 01"W
L72	10.61	S22° 52' 40"E
L73	23.23	N24° 23' 30"E
L74	23.39	N88° 22' 04"W
L75	23.50	N54° 21' 56"W
L76	29.15	N87° 11' 23"W
L77	1.46	N1° 32' 05"E
L78	8.54	N1° 32' 05"E
L79	77.80	N16° 57' 28"E
L80	53.70	N11° 48' 15"W
L81	39.95	N39° 43' 05"W
L82	28.28	N27° 24' 26"W
L83	67.86	S6° 02' 04"E
L84	13.63	S6° 02' 04"E
L85	34.78	S28° 45' 30"W
L86	22.92	S3° 57' 54"E
L87	34.60	S12° 49' 43"E
L88	68.69	S52° 08' 24"E
L89	70.81	S63° 05' 21"E
L90	36.88	S23° 03' 47"E
L91	26.13	S43° 06' 53"E
L92	28.53	S43° 06' 53"E
L93	24.20	S23° 52' 46"E
L94	38.04	S30° 09' 15"E
L95	47.55	N86° 10' 29"E
L96	29.15	S4° 49' 15"W
L97	40.25	S22° 05' 32"E
L98	52.90	S44° 46' 36"E
L99	52.00	S34° 12' 20"E
L100	52.00	S34° 12' 20"E
L101	32.84	S70° 54' 01"W
L102	24.65	N75° 10' 57"E
L103	30.65	N89° 07' 35"E
L104	22.44	S88° 45' 07"W
L105	220.14	S62° 35' 34"W
L106	220.14	N62° 35' 34"E
L107	9.32	S43° 29' 03"W
L108	178.23	S88° 29' 03"W
L109	20.00	S1° 18' 48"E
L110	186.58	N88° 29' 03"E
L111	25.16	N43° 29' 03"E
L112	46.57	N88° 29' 03"E
L113	140.42	N88° 29' 03"E
L114	75.24	N1° 30' 57"W
L115	142.15	N43° 41' 12"E
L116	10.84	S1° 18' 48"E
L117	114.72	S43° 41' 12"W
L118	66.91	S1° 30' 57"E
L119	137.73	N68° 44' 58"W
L120	48.73	N1° 18' 48"W

Line Table		
Line	Length	Direction
L121	154.65	S68° 44' 58"E
L122	281.11	S73° 16' 41"E
L123	47.23	S0° 56' 16"E
L124	297.21	N73° 16' 41"W
L125	40.62	N88° 29' 03"E
L126	24.44	N47° 26' 59"W
L127	23.06	S88° 29' 03"W
L128	17.00	S1° 30' 57"E
L129	27.94	N88° 29' 03"E
L130	17.00	S1° 30' 57"E
L131	44.35	S88° 29' 03"W
L132	23.63	N42° 28' 16"E
L133	121.86	S52° 30' 09"E
L134	203.70	S31° 01' 44"E
L135	12.39	S85° 48' 10"W
L136	274.42	N71° 41' 50"W
L137	254.93	S71° 41' 50"E
L138	201.36	N31° 01' 44"W
L139	105.54	N52° 30' 09"W
L140	20.00	N28° 27' 11"E
L141	9.09	S61° 32' 49"E
L142	13.22	S71° 57' 31"E
L143	77.03	N78° 02' 29"E
L144	10.25	N64° 34' 54"E
L145	85.56	N59° 29' 56"E
L146	13.66	S60° 43' 15"E
L147	86.20	N29° 16' 54"E
L148	15.10	N14° 17' 26"E
L149	28.18	N59° 30' 28"E
L150	37.58	S14° 17' 26"W
L151	88.83	S29° 16' 54"W
L152	48.53	S60° 43' 17"E
L153	53.70	S10° 56' 41"W
L154	31.90	S55° 47' 40"W
L155	50.03	N87° 54' 48"W
L156	19.15	S78° 02' 29"W
L157	13.90	S18° 02' 29"W
L158	16.91	N18° 02' 29"E
L159	41.70	S78° 02' 29"W
L160	20.40	N71° 57' 31"W
L161	10.91	N61° 32' 49"W
L162	20.00	N87° 37' 52"W
L163	37.85	N2° 22' 08"E
L164	20.00	S87° 37' 52"E
L165	37.85	S2° 22' 08"W
L166	20.00	N87° 37' 52"W
L167	31.96	N2° 22' 08"E
L168	20.00	S87° 37' 52"E
L169	31.96	S2° 22' 08"W
L170	22.93	S59° 30' 28"W
L171	355.26	N1° 12' 23"W
L172	20.00	N89° 07' 35"E
L173	343.92	S1° 12' 23"E
L174	36.65	S85° 18' 07"W
L175	73.94	N4° 41' 53"W
L176	22.36	N31° 15' 47"W
L177	41.59	N4° 41' 53"W
L178	20.35	N85° 21' 14"W
L179	6.27	N88° 22' 04"W
L180	2.88	N44° 03' 25"E

Line Table		
Line	Length	Direction
L181	48.29	S40° 46' 49"E
L182	6.65	S88° 22' 04"E
L183	14.35	N85° 34' 22"E
L184	61.27	S52° 54' 31"E
L185	24.19	S56° 18' 36"E
L186	72.34	S84° 12' 59"E
L187	20.00	S5° 47' 01"W
L188	72.34	N84° 12' 59"W
L189	110.76	S23° 40' 39"E
L190	7.20	N0° 57' 55"W
L191	18.41	N44° 31' 03"E
L192	320.22	N88° 33' 07"E
L193	16.89	S1° 37' 56"W
L194	19.60	S43° 33' 07"W
L195	399.42	S88° 33' 07"W
L209	23.80	N0° 56' 16"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	40.71	300.00	007°46'27"	40.67	S05° 57' 41"E
C2	48.41	325.00	008°32'06"	48.37	N05° 34' 51"W
C3	73.40	250.00	016°49'18"	73.14	S09° 43' 27"E
C4	508.93	675.00	043°11'57"	496.96	N03° 27' 52"E
C5	100.42	250.00	023°00'49"	99.74	N36° 34' 15"E
C6	154.43	250.00	035°23'34"	151.99	S30° 22' 52"W
C7	188.19	988.00	010°54'48"	187.90	S07° 13' 41"W
C8	18.94	300.00	003°37'01"	18.93	N89° 26' 22"W
C9	133.38	500.00	015°17'05"	132.99	N84° 43' 36"E
C10	136.19	540.00	014°27'02"	135.83	S84° 18' 34"W
C11	150.33	250.00	034°27'13"	148.08	N74° 18' 29"E
C12	92.99	250.00	021°18'43"	92.46	S77° 48' 33"E
C13	33.15	35.00	054°15'35"	31.92	N61° 20' 07"W
C14	149.06	355.00	024°03'27"	147.97	N22° 10' 36"W
C15	72.38	420.00	009°52'27"	72.29	S15° 05' 06"E
C16	283.31	575.00	028°13'51"	280.46	N13° 17' 31"W
C17	55.41	35.00	090°42'41"	49.80	N46° 10' 45"E
C18	32.42	300.00	006°11'30"	32.40	S85° 22' 10"E
C19	32.42	300.00	006°11'30"	32.40	N85° 22' 10"W
C20	56.40	35.00	092°19'34"	50.49	S45° 22' 18"W
C21	419.26	830.00	028°56'31"	414.82	N77° 03' 50"E
C22	11.42	250.00	002°37'02"	11.42	S00° 19' 26"W
C23	476.36	295.00	092°31'11"	426.26	S45° 16' 30"W
C24	155.95	250.00	035°44'25"	153.43	N73° 39' 53"E
C25	6.02	20.50	016°49'29"	6.00	S80° 20' 23"W
C26	87.50	57.50	087°11'25"	79.30	S03° 07' 58"W
C27	26.75	20.50	074°45'45"	24.89	S53° 52' 00"E
C28	20.52	325.00	003°37'01"	20.51	N89° 26' 22"W
C29	17.36	275.00	003°37'01"	17.36	N89° 26' 22"W
C30	26.44	525.00	002°53'07"	26.43	N89° 04' 25"W
C31	23.52	475.00	002°50'15"	23.52	S89° 02' 59"E
C32	6.45	10.00	036°58'24"	6.34	S84° 23' 43"W
C33	197.67	57.50	196°58'07"	113.74	S79° 23' 05"W
C34	14.23	10.00	081°33'24"	13.06	S42° 54' 34"E
C35	5.86	10.00	033°33'26"	5.77	N74° 45' 22"E
C36	91.30	50.00	104°37'28"	79.14	N69° 42' 37"W
C37	5.86	10.00	033°33'26"	5.77	S17° 25' 37"E
C38	5.31	10.00	030°26'20"	5.25	N16° 00' 39"W
C39	44.10	50.00	050°32'05"	42.68	S65° 38' 01"W
C40	6.46	10.00	036°59'16"	6.34	S69° 58' 17"E
C41	54.94	200.00	015°44'26"	54.77	N54° 43' 21"E
C42	54.94	200.00	015°44'26"	54.77	S54° 43' 21"W
C43	54.94	200.00	015°44'26"	54.77	N70° 27' 47"E
C44	54.94	200.00	015°44'26"	54.77	S70° 27' 47"W
C45	5.86	10.00	033°33'26"	5.77	S15° 57' 19"E
C46	44.29	50.00	050°44'52"	42.85	N43° 56' 11"E
C47	4.70	10.00	026°55'00"	4.65	S75° 00' 25"E
C48	35.12	325.00	006°11'30"	35.10	S85° 22' 10"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C49	19.08	275.00	003°58'28"	19.07	N84° 15' 39"W
C50	10.64	275.00	002°13'02"	10.64	N87° 21' 24"W
C51	29.72	275.00	006°11'30"	29.70	S85° 22' 10"E
C52	33.38	325.00	005°53'06"	33.37	N85° 12' 58"W
C53	1.74	325.00	000°18'24"	1.74	N88° 18' 43"W
C54	13.15	20.50	036°44'50"	12.92	S16° 44' 29"E
C55	83.78	57.50	083°28'56"	76.56	N32° 39' 14"E
C56	15.17	20.50	042°24'46"	14.83	N48° 59' 41"E
C57	5.45	2.00	156°14'49"	3.91	S27° 24' 26"E
C58	34.31	165.50	011°52'36"	34.24	S56° 39' 16"W
C59	34.31				

**LEGAL DESCRIPTION:  
65.309 ACRES**

BEING a tract of land situated in the GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183, City of Rockwall, Rockwall County, Texas and being all of OAK CREEK, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 201, Plat Records, Rockwall County, Texas and being part of those tracts of land described in Deed to Rockwall Property Corporation, as recorded in Volume 444, Page 146 and Volume 2002, Page 150, Deed Records, Rockwall County, Texas and being all of that tract of land described in Deed to Rockwall Property Corporation, as recorded in Volume 2051, Page 53, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the south line of State Highway No. 66, a 60 foot right-of-way, for the common northwest corner of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northeast corner of that tract of land described in Deed to Rockwall Independent School District, as recorded in Volume 105, Page 153, Deed Records, Rockwall County, Texas;

THENCE North 88 degrees 29 minutes 03 seconds East, with said south line, a distance of 411.45 feet to a wood post found for the common northeast corner of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northwest corner of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150;

THENCE South 00 degrees 56 minutes 16 seconds East, leaving said south line and with the common west line of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150 and east line of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53, a distance of 705.40 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 59 degrees 30 minutes 28 seconds East, leaving said common line, a distance of 503.69 feet to a point for corner;

THENCE South 69 degrees 21 minutes 48 seconds East, a distance of 40.60 feet to a point for corner;

THENCE South 25 degrees 06 minutes 25 seconds East, a distance of 64.89 feet to a point for corner;

THENCE South 31 degrees 25 minutes 37 seconds East, a distance of 51.80 feet to a point for corner;

THENCE South 09 degrees 09 minutes 13 seconds East, a distance of 55.61 feet to a point for corner;

THENCE South 16 degrees 55 minutes 05 seconds East, a distance of 49.61 feet to a point for corner;

THENCE South 03 degrees 11 minutes 20 seconds East, a distance of 109.33 feet to a point for corner;

THENCE South 04 degrees 27 minutes 24 seconds East, a distance of 60.49 feet to a point for corner;

THENCE South 16 degrees 19 minutes 49 seconds West, a distance of 39.76 feet to a point for corner;

THENCE South 08 degrees 12 minutes 45 seconds East, a distance of 48.89 feet to a point for corner;

THENCE South 64 degrees 09 minutes 47 seconds East, a distance of 66.87 feet to a point for corner;

THENCE South 47 degrees 50 minutes 45 seconds East, a distance of 73.04 feet to a point for corner;

THENCE South 42 degrees 29 minutes 55 seconds East, a distance of 44.81 feet to a point for corner;

THENCE North 85 degrees 31 minutes 53 seconds East, a distance of 53.72 feet to a point for corner;

THENCE South 25 degrees 10 minutes 09 seconds East, a distance of 84.31 feet to a point for corner;

THENCE South 42 degrees 22 minutes 14 seconds East, a distance of 59.42 feet to a point for corner;

THENCE South 47 degrees 09 minutes 28 seconds East, a distance of 72.07 feet to a point for corner;

THENCE South 02 degrees 46 minutes 29 seconds West, a distance of 57.76 feet to a point for corner;

THENCE South 31 degrees 26 minutes 15 seconds East, a distance of 71.66 feet to a point for corner;

THENCE South 18 degrees 53 minutes 46 seconds East, a distance of 88.10 feet to a point for corner;

THENCE South 11 degrees 41 minutes 53 seconds East, a distance of 110.02 feet to a point for corner;

THENCE South 53 degrees 25 minutes 21 seconds West, a distance of 34.88 feet to a point for corner;

THENCE South 20 degrees 12 minutes 22 seconds East, a distance of 44.84 feet to a point for corner;

THENCE South 79 degrees 08 minutes 23 seconds East, a distance of 90.02 feet to a point for corner;

THENCE South 56 degrees 28 minutes 11 seconds East, a distance of 62.92 feet to a point for corner;

THENCE South 87 degrees 49 minutes 07 seconds East, a distance of 28.55 feet to a point for corner;

THENCE South 05 degrees 58 minutes 08 seconds West, a distance of 28.02 feet to a point for corner;

THENCE South 10 degrees 07 minutes 55 seconds East, a distance of 46.33 feet to a point for corner;

THENCE South 10 degrees 56 minutes 13 seconds East, a distance of 88.76 feet to a point for corner;

THENCE South 42 degrees 32 minutes 37 seconds East, a distance of 66.83 feet to a point for corner;

THENCE South 05 degrees 48 minutes 00 seconds West, a distance of 37.66 feet to a point for corner;

THENCE South 27 degrees 06 minutes 51 seconds East, a distance of 115.84 feet to a point for corner;

THENCE South 36 degrees 05 minutes 07 seconds East, a distance of 93.26 feet to a point for corner;

THENCE South 09 degrees 53 minutes 27 seconds East, a distance of 144.51 feet to a point for corner in the common south line of said Rockwall Property Corporation tract recorded in Volume 444, Page 146 and north line of that tract of land described in Deed to Robert O. Dillender and wife, Sherry Dillender, as recorded in Volume 3356, Page 177, Deed Records, Rockwall County, Texas;

THENCE Westerly, with said south line, the following four (4) courses and distances:

North 89 degrees 15 minutes 43 seconds West, a distance of 1,002.42 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to F&F Holdings I, Ltd., as recorded in Document No. 2020000031089, Deed Records, Rockwall County, Texas and northeast corner of that tract of land described in Deed to D. Richard Devenney and wife, Diana Devenney, as recorded in Volume 165, Page 116, Deed Records, Rockwall County, Texas;

North 87 degrees 11 minutes 23 seconds West, a distance of 295.74 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an interior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 01 degrees 26 minutes 13 seconds West, a distance of 426.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common southwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an exterior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 88 degrees 33 minutes 07 seconds West, a distance of 724.98 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found in the north line of Washington Street, a variable width right-of-way, for the common southwest corner of said Rockwall Property Corporation tract recorded in Volume 444, Page 146 and southeast corner of that tract of land described in Deed to City of Rockwall, as recorded in Volume 2163, Page 96, Deed Records, Rockwall County, Texas;

THENCE Northerly, with the east line of said City of Rockwall tract, the following three (3) courses and distances:

North 24 degrees 23 minutes 30 seconds East, a distance of 884.48 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found at the beginning of a curve to the left having a central angle of 25 degrees 00 minutes 38 seconds, a radius of 700.00 feet and a chord bearing and distance of North 11 degrees 53 minutes 11 seconds East, 303.14 feet;

Northerly, with said curve to the left, an arc distance of 305.56 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found for corner;

North 00 degrees 37 minutes 07 seconds West, a distance of 201.44 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northeast corner of said City of Rockwall tract and an exterior ell corner of said Rockwall Property Corporation tract recorded in Volume 444, Page 146;

THENCE South 89 degrees 07 minutes 35 seconds West, a distance of 762.97 feet to a 3/8 inch iron rod found for the common northwest corner of said City of Rockwall tract and northeast corner of MUNICIPAL PARK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 49, Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 15 minutes 52 seconds West, with the north line of said MUNICIPAL PARK ADDITION, a distance of 297.37 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the southwest corner of the above mentioned OAK CREEK Addition;

THENCE North 59 degrees 30 minutes 28 seconds East, leaving said north line and with the west line of said OAK CREEK Addition, a distance of 1,091.77 feet to a 1/2 inch iron rod found for corner;

THENCE North 01 degrees 18 minutes 48 seconds West, continuing with said west line, a distance of 759.30 feet to the POINT OF BEGINNING and containing 65.309 acres of land, more or less.

**OWNER'S CERTIFICATION:**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the PARK HILLS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the PARK HILLS subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of there respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Signature \_\_\_\_\_  
Name \_\_\_\_\_  
Title \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ of QUALICO DEVELOPMENTS (U.S.), INC., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Notary public in and for the State of Texas

\_\_\_\_\_  
My Commission Expires

**SURVEYOR'S CERTIFICATE:**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

\_\_\_\_\_  
RYAN S. REYNOLDS, R.P.L.S.  
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §  
COUNTY OF COLLIN §

APPROVED:  
I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall on \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
MAYOR OF THE CITY OF ROCKWALL

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION CHAIRMAN

\_\_\_\_\_  
CITY SECRETARY

\_\_\_\_\_  
CITY ENGINEER

**FINAL PLAT  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
65.309 ACRES OR 2,844,879.13 SF  
144 SINGLE FAMILY LOTS AND  
13 OPEN SPACE LOTS  
SITUATED WITHIN  
TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
P2023-012  
MAY 31, 2023  
EXIST. ZONING: PD-98  
LAND USE: SF  
SHEET 5 OF 5

**Owner/Applicant:**  
Qualico Developments (U.S.), Inc.  
6950 TPC Drive, Suite 350  
McKinney, Texas 75070  
Phone: 469-659-6150

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Tom Dayton, PE



## Mapcheck 1: PARK HILLS

### Closure Summary

Precision, 1 part in: 2641627.87'  
Error distance: 0.00'  
Error direction: S77°10'07.69"E  
Area: 2844874.66 Sq. Ft.  
Square area: 2844874.66  
Perimeter: 10557.75'

### Point of Beginning

Easting: 2599223.78'  
Northing: 7029765.69'

### Side 1: Line

Direction: N88°29'03"E  
Angle: [-091.52 (d)]  
Deflection angle: [088.48 (d)]  
Distance: 411.45'  
Easting: 2599635.08'  
Northing: 7029776.57'

### Side 2: Line

Direction: S00°56'16"E  
Angle: [-089.42 (d)]  
Deflection angle: [090.58 (d)]  
Distance: 705.40'  
Easting: 2599646.63'  
Northing: 7029071.26'

### Side 3: Line

Direction: N59°30'28"E  
Angle: [060.45 (d)]  
Deflection angle: [-119.55 (d)]  
Distance: 503.69'  
Easting: 2600080.66'  
Northing: 7029326.85'

### Side 4: Line

Direction: S69°21'48"E  
Angle: [-128.87 (d)]  
Deflection angle: [051.13 (d)]  
Distance: 40.60'  
Easting: 2600118.65'  
Northing: 7029312.54'

### Side 5: Line

Direction: S25°06'25"E  
Angle: [-135.74 (d)]  
Deflection angle: [044.26 (d)]

Distance: 64.89'  
Easting: 2600146.19'  
Northing: 7029253.78'

Side 6: Line

Direction: S31°25'37"E  
Angle: [173.68 (d)]  
Deflection angle: [-006.32 (d)]  
Distance: 51.80'  
Easting: 2600173.20'  
Northing: 7029209.58'

Side 7: Line

Direction: S09°09'13"E  
Angle: [-157.73 (d)]  
Deflection angle: [022.27 (d)]  
Distance: 55.61'  
Easting: 2600182.04'  
Northing: 7029154.68'

Side 8: Line

Direction: S16°55'05"E  
Angle: [172.24 (d)]  
Deflection angle: [-007.76 (d)]  
Distance: 49.61'  
Easting: 2600196.48'  
Northing: 7029107.21'

Side 9: Line

Direction: S03°11'20"E  
Angle: [-166.27 (d)]  
Deflection angle: [013.73 (d)]  
Distance: 109.33'  
Easting: 2600202.56'  
Northing: 7028998.05'

Side 10: Line

Direction: S04°27'24"E  
Angle: [178.73 (d)]  
Deflection angle: [-001.27 (d)]  
Distance: 60.49'  
Easting: 2600207.26'  
Northing: 7028937.75'

Side 11: Line

Direction: S16°19'49"W  
Angle: [-159.21 (d)]  
Deflection angle: [020.79 (d)]  
Distance: 39.76'

Easting: 2600196.08'  
Northing: 7028899.59'

Side 12: Line

Direction: S08°12'45"E  
Angle: [155.46 (d)]  
Deflection angle: [-024.54 (d)]  
Distance: 48.89'  
Easting: 2600203.06'  
Northing: 7028851.20'

Side 13: Line

Direction: S64°09'47"E  
Angle: [124.05 (d)]  
Deflection angle: [-055.95 (d)]  
Distance: 66.87'  
Easting: 2600263.25'  
Northing: 7028822.06'

Side 14: Line

Direction: S47°50'45"E  
Angle: [-163.68 (d)]  
Deflection angle: [016.32 (d)]  
Distance: 73.04'  
Easting: 2600317.40'  
Northing: 7028773.04'

Side 15: Line

Direction: S42°29'55"E  
Angle: [-174.65 (d)]  
Deflection angle: [005.35 (d)]  
Distance: 44.81'  
Easting: 2600347.67'  
Northing: 7028740.00'

Side 16: Line

Direction: N85°31'53"E  
Angle: [128.03 (d)]  
Deflection angle: [-051.97 (d)]  
Distance: 53.72'  
Easting: 2600401.23'  
Northing: 7028744.19'

Side 17: Line

Direction: S25°10'09"E  
Angle: [-110.70 (d)]  
Deflection angle: [069.30 (d)]  
Distance: 84.31'  
Easting: 2600437.08'

Northing: 7028667.88'  
Side 18: Line  
Direction: S42°22'14"E  
Angle: [162.80 (d)]  
Deflection angle: [-017.20 (d)]  
Distance: 59.42'  
Easting: 2600477.13'  
Northing: 7028623.98'

Side 19: Line  
Direction: S47°09'28"E  
Angle: [175.21 (d)]  
Deflection angle: [-004.79 (d)]  
Distance: 72.07'  
Easting: 2600529.97'  
Northing: 7028574.98'

Side 20: Line  
Direction: S02°46'29"W  
Angle: [-130.07 (d)]  
Deflection angle: [049.93 (d)]  
Distance: 57.76'  
Easting: 2600527.18'  
Northing: 7028517.28'

Side 21: Line  
Direction: S31°26'15"E  
Angle: [145.79 (d)]  
Deflection angle: [-034.21 (d)]  
Distance: 71.66'  
Easting: 2600564.55'  
Northing: 7028456.14'

Side 22: Line  
Direction: S18°53'46"E  
Angle: [-167.46 (d)]  
Deflection angle: [012.54 (d)]  
Distance: 88.10'  
Easting: 2600593.08'  
Northing: 7028372.79'

Side 23: Line  
Direction: S11°41'53"E  
Angle: [-172.80 (d)]  
Deflection angle: [007.20 (d)]  
Distance: 110.02'  
Easting: 2600615.39'  
Northing: 7028265.06'

Side 24: Line

Direction: S53°25'21"W  
Angle: [-114.88 (d)]  
Deflection angle: [065.12 (d)]  
Distance: 34.88'  
Easting: 2600587.38'  
Northing: 7028244.27'

Side 25: Line

Direction: S20°12'22"E  
Angle: [106.37 (d)]  
Deflection angle: [-073.63 (d)]  
Distance: 44.84'  
Easting: 2600602.87'  
Northing: 7028202.19'

Side 26: Line

Direction: S79°08'23"E  
Angle: [121.07 (d)]  
Deflection angle: [-058.93 (d)]  
Distance: 90.02'  
Easting: 2600691.27'  
Northing: 7028185.23'

Side 27: Line

Direction: S56°28'11"E  
Angle: [-157.33 (d)]  
Deflection angle: [022.67 (d)]  
Distance: 62.92'  
Easting: 2600743.72'  
Northing: 7028150.47'

Side 28: Line

Direction: S87°49'07"E  
Angle: [148.65 (d)]  
Deflection angle: [-031.35 (d)]  
Distance: 28.55'  
Easting: 2600772.25'  
Northing: 7028149.39'

Side 29: Line

Direction: S05°58'08"W  
Angle: [-086.21 (d)]  
Deflection angle: [093.79 (d)]  
Distance: 28.02'  
Easting: 2600769.34'  
Northing: 7028121.52'

Side 30: Line

Direction: S10°07'55"E  
Angle: [163.90 (d)]  
Deflection angle: [-016.10 (d)]  
Distance: 46.33'  
Easting: 2600777.49'  
Northing: 7028075.91'

Side 31: Line

Direction: S10°56'13"E  
Angle: [179.20 (d)]  
Deflection angle: [-000.80 (d)]  
Distance: 88.76'  
Easting: 2600794.33'  
Northing: 7027988.76'

Side 32: Line

Direction: S42°32'37"E  
Angle: [148.39 (d)]  
Deflection angle: [-031.61 (d)]  
Distance: 66.83'  
Easting: 2600839.52'  
Northing: 7027939.52'

Side 33: Line

Direction: S05°48'00"W  
Angle: [-131.66 (d)]  
Deflection angle: [048.34 (d)]  
Distance: 37.66'  
Easting: 2600835.71'  
Northing: 7027902.06'

Side 34: Line

Direction: S27°06'51"E  
Angle: [147.09 (d)]  
Deflection angle: [-032.91 (d)]  
Distance: 115.84'  
Easting: 2600888.51'  
Northing: 7027798.95'

Side 35: Line

Direction: S36°05'07"E  
Angle: [171.03 (d)]  
Deflection angle: [-008.97 (d)]  
Distance: 93.26'  
Easting: 2600943.44'  
Northing: 7027723.58'

Side 36: Line

Direction: S09°53'27"E

Angle: [-153.81 (d)]  
Deflection angle: [026.19 (d)]  
Distance: 144.51'  
Easting: 2600968.26'  
Northing: 7027581.22'

Side 37: Line

Direction: N89°15'43"W  
Angle: [-079.37 (d)]  
Deflection angle: [100.63 (d)]  
Distance: 1002.42'  
Easting: 2599965.92'  
Northing: 7027594.13'

Side 38: Line

Direction: N87°11'23"W  
Angle: [-177.93 (d)]  
Deflection angle: [002.07 (d)]  
Distance: 295.74'  
Easting: 2599670.54'  
Northing: 7027608.63'

Side 39: Line

Direction: S01°26'13"W  
Angle: [088.63 (d)]  
Deflection angle: [-091.37 (d)]  
Distance: 426.00'  
Easting: 2599659.86'  
Northing: 7027182.77'

Side 40: Line

Direction: S88°33'07"W  
Angle: [-092.88 (d)]  
Deflection angle: [087.12 (d)]  
Distance: 724.98'  
Easting: 2598935.11'  
Northing: 7027164.44'

Side 41: Line

Direction: N24°23'30"E  
Angle: [-064.16 (d)]  
Deflection angle: [115.84 (d)]  
Distance: 884.48'  
Easting: 2599300.37'  
Northing: 7027969.98'

Side 42: Curve

Curve direction: Counter-clockwise  
Radius: [700.00']

Arc length: 305.56'  
Delta angle: 025.01 (d)  
Tangent: [155.25']  
Chord direction: N11°53'11"E  
Chord angle: [167.49 (d)]  
Deflection angle: [-012.51 (d)]  
Chord distance: 303.14'  
Easting: 2599362.81'  
Northing: 7028266.62'

Side 43: Line

Direction: N00°37'07"W  
Angle: [-180.00 (d)]  
Deflection angle: [000.00 (d)]  
Distance: 201.44'  
Easting: 2599360.64'  
Northing: 7028468.05'

Side 44: Line

Direction: S89°07'35"W  
Angle: [089.74 (d)]  
Deflection angle: [-090.26 (d)]  
Distance: 762.97'  
Easting: 2598597.75'  
Northing: 7028456.41'

Side 45: Line

Direction: S89°15'52"W  
Angle: [-179.86 (d)]  
Deflection angle: [000.14 (d)]  
Distance: 297.37'  
Easting: 2598300.41'  
Northing: 7028452.60'

Side 46: Line

Direction: N59°30'28"E  
Angle: [-029.76 (d)]  
Deflection angle: [150.24 (d)]  
Distance: 1091.77'  
Easting: 2599241.19'  
Northing: 7029006.58'

Side 47: Line

Direction: N01°18'48"W  
Angle: [119.18 (d)]  
Deflection angle: [-060.82 (d)]  
Distance: 759.30'  
Easting: 2599223.78'

Northing: 7029765.69'



**CITY OF ROCKWALL**  
**PLANNING AND ZONING COMMISSION MEMORANDUM**  
**PLANNING AND ZONING DEPARTMENT**  
 385 S. GOLIAD STREET • ROCKWALL, TX 75087  
 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Senior Planner*  
**DATE:** June 13, 2023  
**SUBJECT:** SP2023-016; *PD Site Plan for the Park Hills Subdivision*

The applicant, Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Developments (US), Inc., is requesting the approval of a Site Plan for the Park Hills Subdivision. The subject property is a 65.309-acre tract of land (*i.e. Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183*) generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park. Concurrently with this *Site Plan*, the applicant has submitted a *Final Plat* [Case No. P2023-012].

The subject property is zoned Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses. Based on this Planned Development District, the proposed subdivision will consist of three (3) lots sizes (*i.e. [Type A Lots] 41, 72' x 120' lots; [Type B Lots] 75, 62' x 120' lots; [Type C Lots] 28, 52' x 120' lots*), and be subject to the following density and dimensional requirements:

Lot Type (see Concept Plan) ►	A	B	C
Minimum Lot Width <sup>(1)</sup>	72'	62'	52'
Minimum Lot Depth	120'	120'	120'
Minimum Lot Area	8,400 SF	7,200 SF	6,000 SF
Minimum Front Yard Setback <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) <sup>(2), (5) &amp; (7)</sup>	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'
Maximum Height <sup>(3)</sup>	35'	35'	35'
Minimum Rear Yard Setback <sup>(4)</sup>	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF	2,500 SF	2,400 SF
Maximum Lot Coverage	65'	65'	65'

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE FRONT PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE *FRONT YARD BUILDING SETBACK*. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN TABLE 1.
- 2: THE LOCATION OF THE *FRONT YARD BUILDING SETBACK* AS MEASURED FROM THE FRONT PROPERTY LINE.
- 3: THE *MAXIMUM HEIGHT* SHALL BE MEASURED TO THE EAVE OR TOP PLATE (*WHICHEVER IS GREATER*) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE *REAR YARD BUILDING SETBACK* AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE *FRONT YARD BUILDING SETBACK* AND *SIDE YARD BUILDING SETBACK* BY UP TO FIVE (5) FEET FOR ANY PROPERTY. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: *J-SWING* OR *TRADITIONAL SWING GARAGES* ARE PERMITTED TO ENCROACH INTO THE *FRONT YARD BUILDING SETBACK* A MINIMUM OF FIVE (5) FEET.
- 7: ALL *CORNER LOTS* THAT BACK TO A LOT THAT FRONTS ONTO THE SAME STREET THAT THE *CORNER LOT* SIDES TO (*I.E. A KEYSTONE LOT*), SHALL HAVE A SETBACK THAT IS EQUAL TO THE FRONT SETBACK OF THE FRONTING LOT. IN ADDITION, NO SOLID FENCE SHALL BE SITUATED WITHIN THIS SETBACK.

The proposed *Site Plan* appears to conform to all requirements stipulated by *Ordinance No. 22-46*. In addition, the site plan indicates that a 1.86-acres will be dedicated as parkland to the City of Rockwall. This parkland will be incorporated into Harry Myers Park as part of the disk golf course. It should be noted, that on May 2, 2023, the Parks Board recommended approval of the proposed site plan, and accepted the parkland dedication instead of collecting the *Cash-In-Lieu of Land Fees*. On February 28, 2023, the Planning and Zoning Commission approved a Miscellaneous Case [Case No. MIS2023-003] for a *Treescape Plan* that indicated that 3,004 caliper inches would be removed from the subject property. Based on the submitted *Landscape Plan*, 2,656 caliper inches will be planted, which accounts for 88.42% (*i.e. (2,656 inches planted / 3,004 caliper mitigation balance) x 100 = 88.42%*) of the mitigation balance. According to Section 05, *Tree Mitigation Requirements*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC) "(t)ree preservation credits may be purchased at a rate

of \$200.00 per inch for up to 20% of the total replacement inches.” In addition, if canopy trees are planted on site then the tree preservation credits are purchased at \$100.00 per inch. In this case, the applicant indicated that the remaining 348 caliper inches or 11.58% (*i.e.*  $(348 \text{ inches remain} / 3,004 \text{ caliper mitigation balance}) \times 100 = 11.58\%$ ) will be purchased, for a fee of \$34,800.00 (*i.e.*  $348 \text{ caliper inches} \times \$100.00 = \$34,800.00$ ). The *Hardscape Plan* shows the proposed entry monumentation signage, sidewalks, and trails. With this being said, since the request generally conforms to the requirements of Planned Development District 97 (PD-97) [*Ordinance No. 22-46*] and the Unified Development Code (UDC), this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff and the applicant will be available at the June 13, 2023 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: John King Blvd, Rockwall, TX 75087  
 SUBDIVISION: Park Hills : ABS A 0183, G W Redlin Tract 1, 6-1, 6      LOT      BLOCK  
 GENERAL LOCATION: Southwest of Intersection at John King Blvd & Williams Street (Hwy 66)

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Planned Development PD-97      CURRENT USE: Planned Development PD-97  
 PROPOSED ZONING:      PROPOSED USE:  
 ACREAGE: 65.309      LOTS [CURRENT]: 152      LOTS [PROPOSED]:

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Qualico Developments (US), Inc.	<input checked="" type="checkbox"/> APPLICANT	Michael Joyce Properties
CONTACT PERSON	John Vick	CONTACT PERSON	Meredith Joyce
ADDRESS	6950 TPC Drive, Suite 350	ADDRESS	767 Justin Road
CITY, STATE & ZIP	McKinney, TX 75070	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE	469-769-6150	PHONE	512-694-6394
E-MAIL	John.Vick@qualico.com	E-MAIL	meredith@michaeljoyceproperties.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

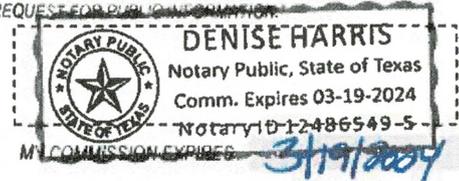
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1556.18 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF April, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

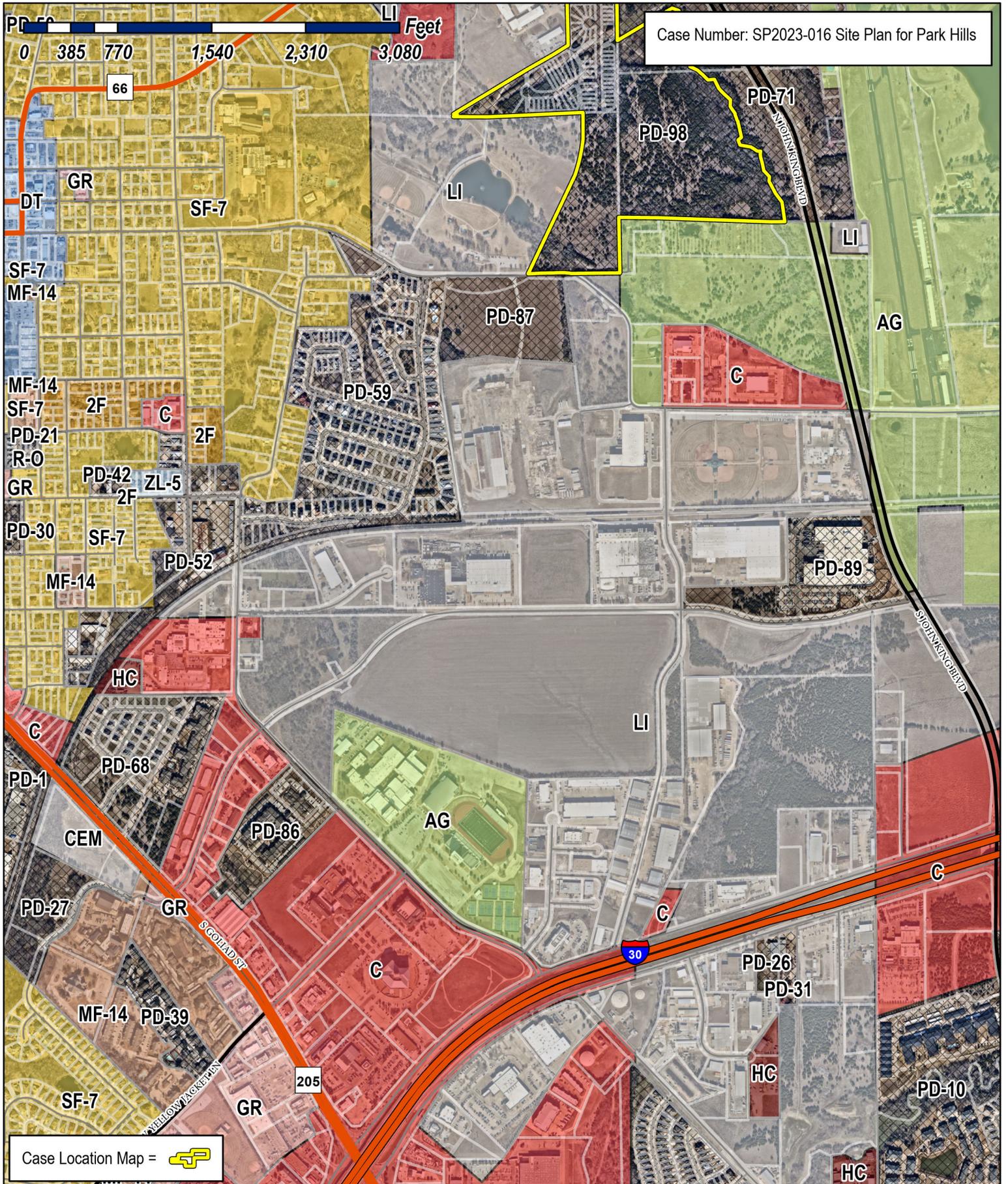
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF April, 2023

OWNER'S SIGNATURE

*John Vick*  
*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Number: SP2023-016 Site Plan for Park Hills

Case Location Map = 

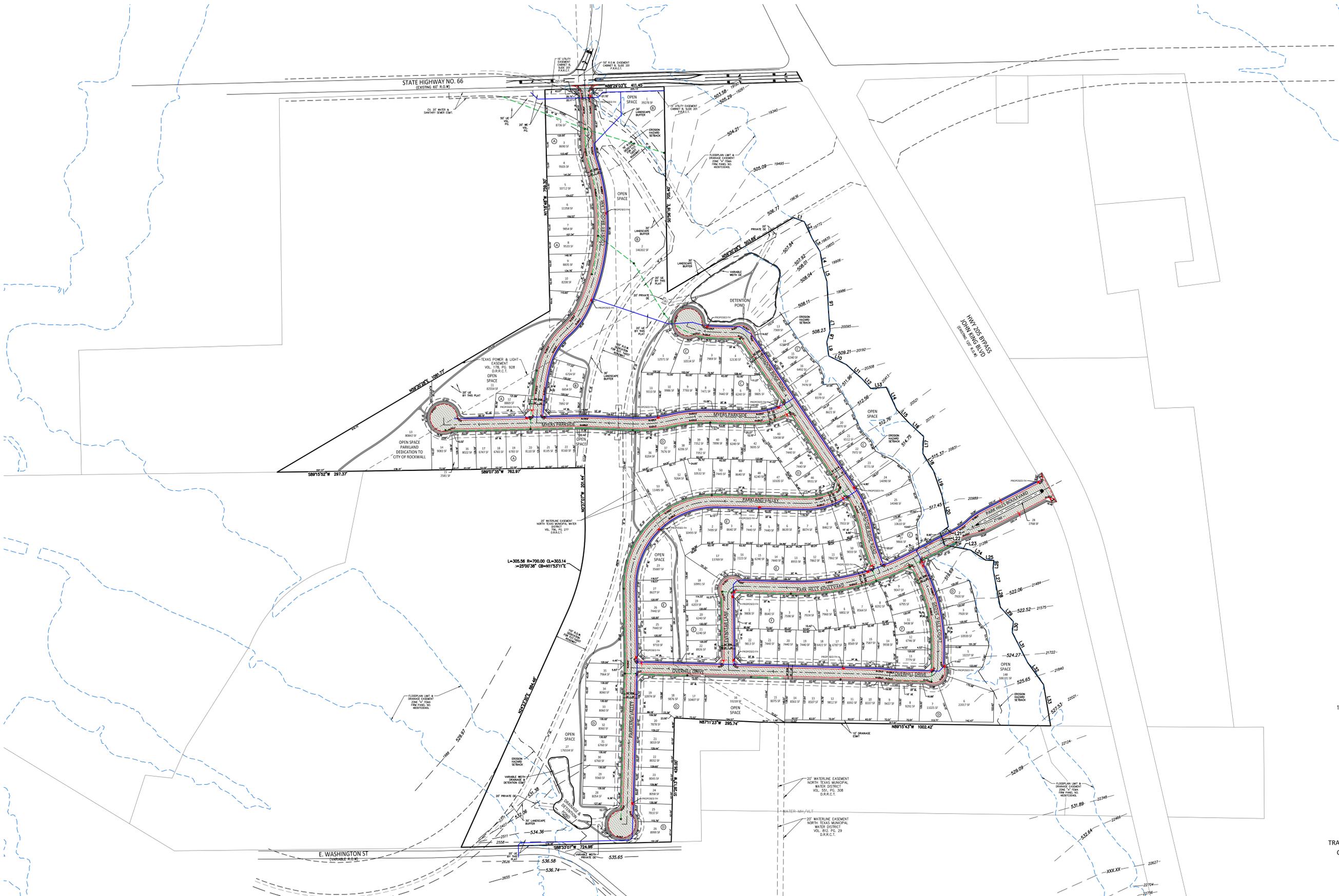
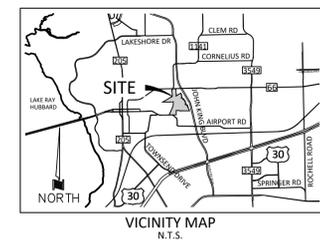


# City of Rockwall

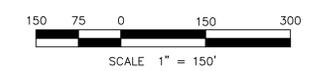
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND	
	6" PAVEMENT
	SIDEWALK (DEVELOPER)
	SIDEWALK (BUILDER)
	FIRE LANE
	PROPOSED SIGNAGE
	PROPOSED WATER
	PROPOSED SEWER



**SITE PLAN  
PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-9, BLOCK B;  
 LOTS 1-28, BLOCK C; LOTS 1-52, BLOCK D;  
 LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;  
 65.309 ACRES OR 2,844,879.13 SF  
 144 SINGLE FAMILY LOTS AND  
 12 OPEN SPACE LOTS  
 SITUATED WITHIN  
 TRACT 6 AND PORTIONS OF TRACTS 1 AND 6-1 OF THE  
 GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183  
**CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS**  
 P2022-047  
 SP2023-016  
 June 2, 2023

**BENCHMARKS**  
 CITY OF ROCKWALL MONUMENT NO. COR-10:  
 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGUE LANE AND LAGUNA DRIVE.  
 ELEVATION = PLAN 521.61' FIELD 521.57'  
 CITY OF ROCKWALL MONUMENT NO. COR-11:  
 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30.  
 ELEVATION = PLAN 565.98' FIELD 566.02'

**SITE PLAN SIGNATURE BLOCK:**  
 APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_ 20\_\_  
 WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING

**Owner/Applicant:**  
 Qualico Developments (U.S), Inc.  
 6950 TPC Drive, Suite 350  
 McKinney, TX 78860

**Engineer/Surveyor:**  
 Johnson Volk Consulting, Inc.  
 704 Central Parkway East, Suite. 1200  
 Plano, Texas 75074  
 Phone: 972-201-3102  
 Contact: Joel Richey, PE



**GENERAL CONSTRUCTION NOTES**

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUTTABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

# CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~PARK HILLS~

CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: June 05, 2023



LOCATION MAP  
NOT TO SCALE

SHEET INDEX	
L1	OVERALL LAYOUT PLAN
L2-L16	LANDSCAPE PLANS
L17-L17A	LANDSCAPE DETAILS
L18-L22	HARDSCAPE DETAILS
F1-F2	FENCE EXHIBIT

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**OWNER / DEVELOPER:**

QUALICO DEVELOPMENTS (U.S), INC  
6950 TPC DRIVE, SUITE 350  
MCKINNEY, TX 78660

**CIVIL ENGINEER:**

JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST, SUITE  
1200 PLANO, TEXAS 75074  
PH 972-201-3100

**LANDSCAPE ARCHITECT:**

JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST, SUITE 1200  
PLANO, TEXAS 75074  
PH. 972-201-3100  
CONTACT: CODY JOHNSON, RLA, ASLA, LI

**GENERAL LANDSCAPE NOTES:**

**INSPECTIONS:**

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

**LANDSCAPE STANDARDS:**

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

**IRRIGATION STANDARDS:**

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

**MAINTENANCE STANDARDS:**

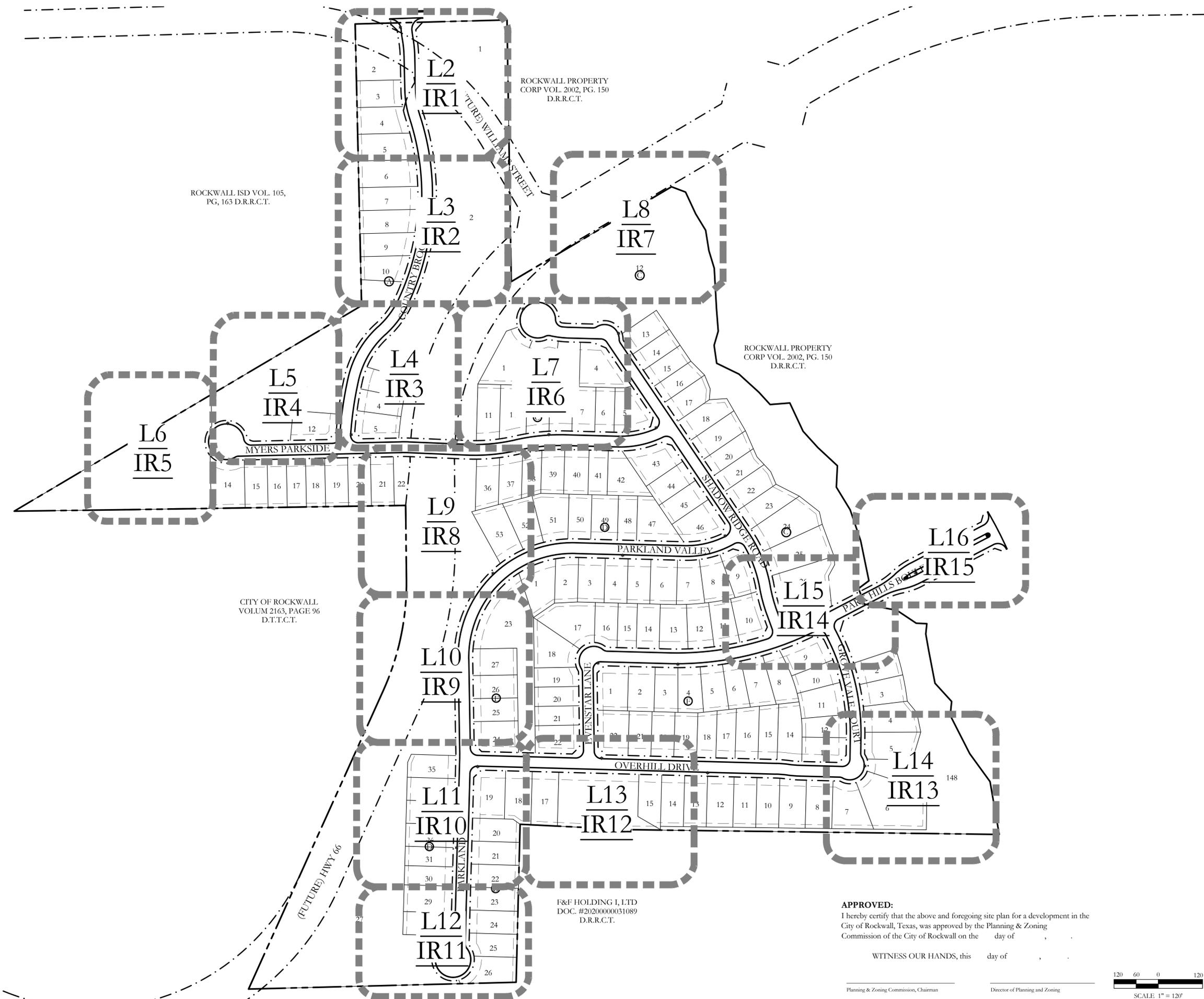
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

**TREE PROTECTION NOTES:**

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



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ROCKWALL ISD VOL. 105, PG. 163 D.R.R.C.T.

ROCKWALL PROPERTY CORP VOL. 2002, PG. 150 D.R.R.C.T.

ROCKWALL PROPERTY CORP VOL. 2002, PG. 150 D.R.R.C.T.

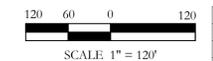
CITY OF ROCKWALL VOLUM 2163, PAGE 96 D.T.T.C.T.

F&F HOLDING I, LTD DOC. #2020000031089 D.R.R.C.T.

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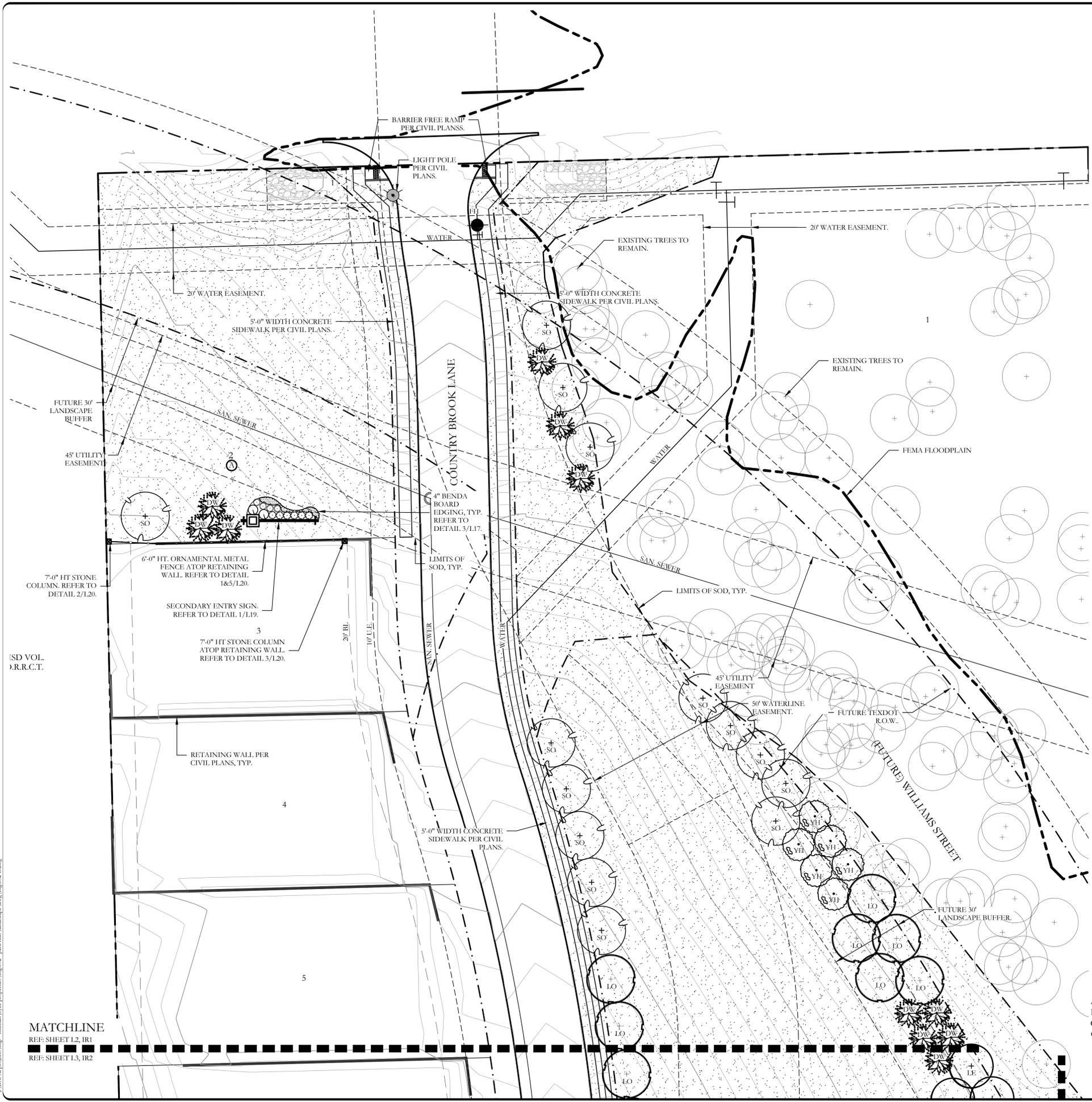
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\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



SCALE: 1" = 120'  
One Inch  
JVC No. MJP502





### HARDSCAPE LEGEND

	MAIN ENTRY SIGN REFER TO DETAILS 1/L18.
	SECONDARY ENTRY SIGN REFER TO DETAILS 1/L19.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

NOTE: BEFORE THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR ANY RESIDENTIAL LOT THERE MUST BE TWO (2) FOUR (4) INCH CALIPER CANOPY TREES PLANTED IN FRONT OF HOME AND FOUR (4) FOUR (4) INCH CALIPER TREES ON CORNER LOTS.

### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

SCALE: 1" = 20'



SCALE 1" = 20'



One Inch  
 JVC No MJP502

SD VOL. D.R.R.C.T.

**MATCHLINE**  
 REF: SHEET L2, IR1  
 REF: SHEET L3, IR2

MATCHLINE

REF: SHEET L2, IR1

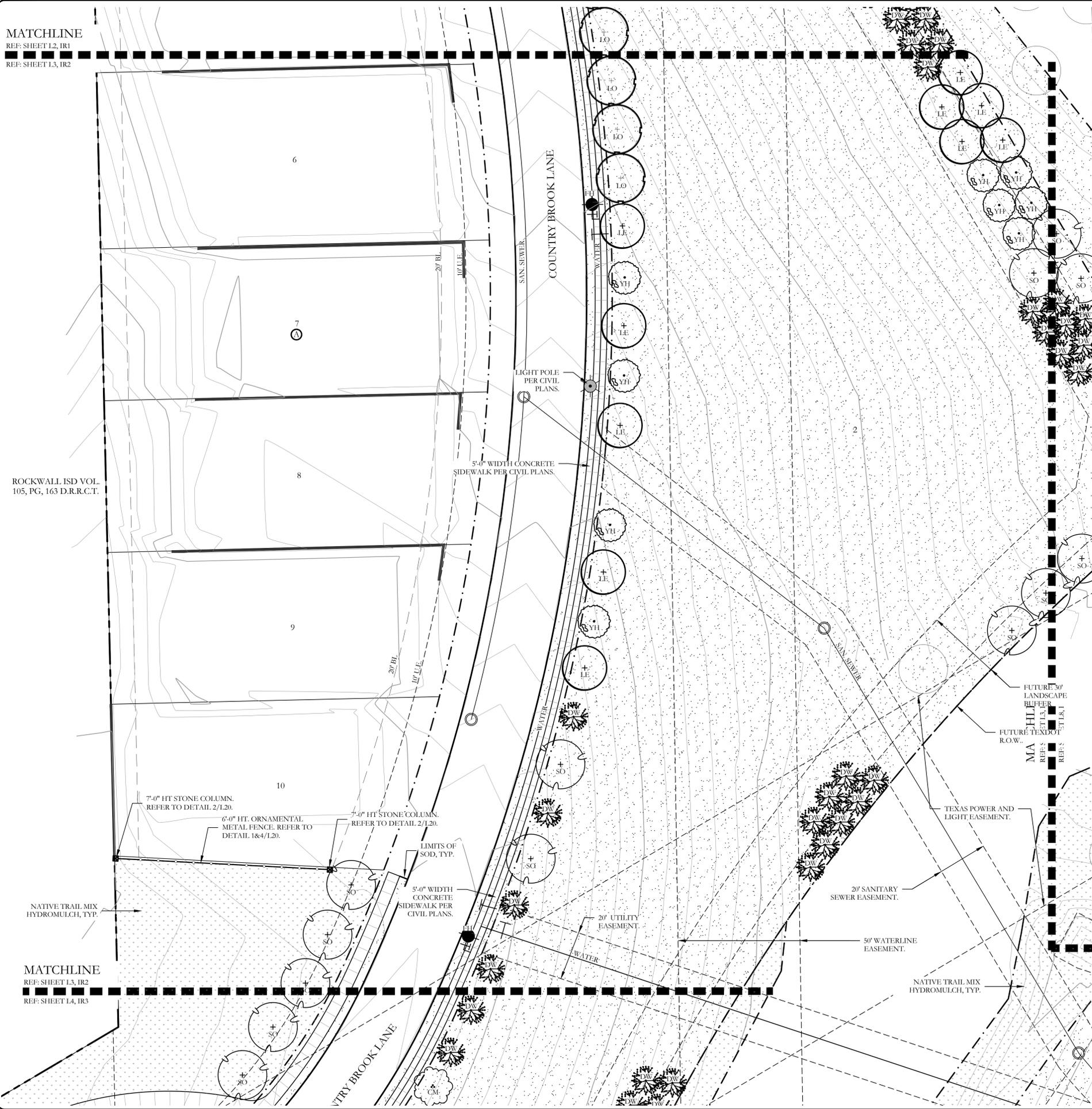
REF: SHEET L3, IR2

ROCKWALL ISD VOL. 105, PG, 163 D.R.C.T.

MATCHLINE

REF: SHEET L3, IR2

REF: SHEET L4, IR3



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REFER TO DETAILS 1/L18.
- SECONDARY ENTRY SIGN  
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REFER TO DETAIL 18&4/L20.
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REFER TO DETAIL 4/L21.

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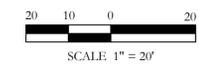
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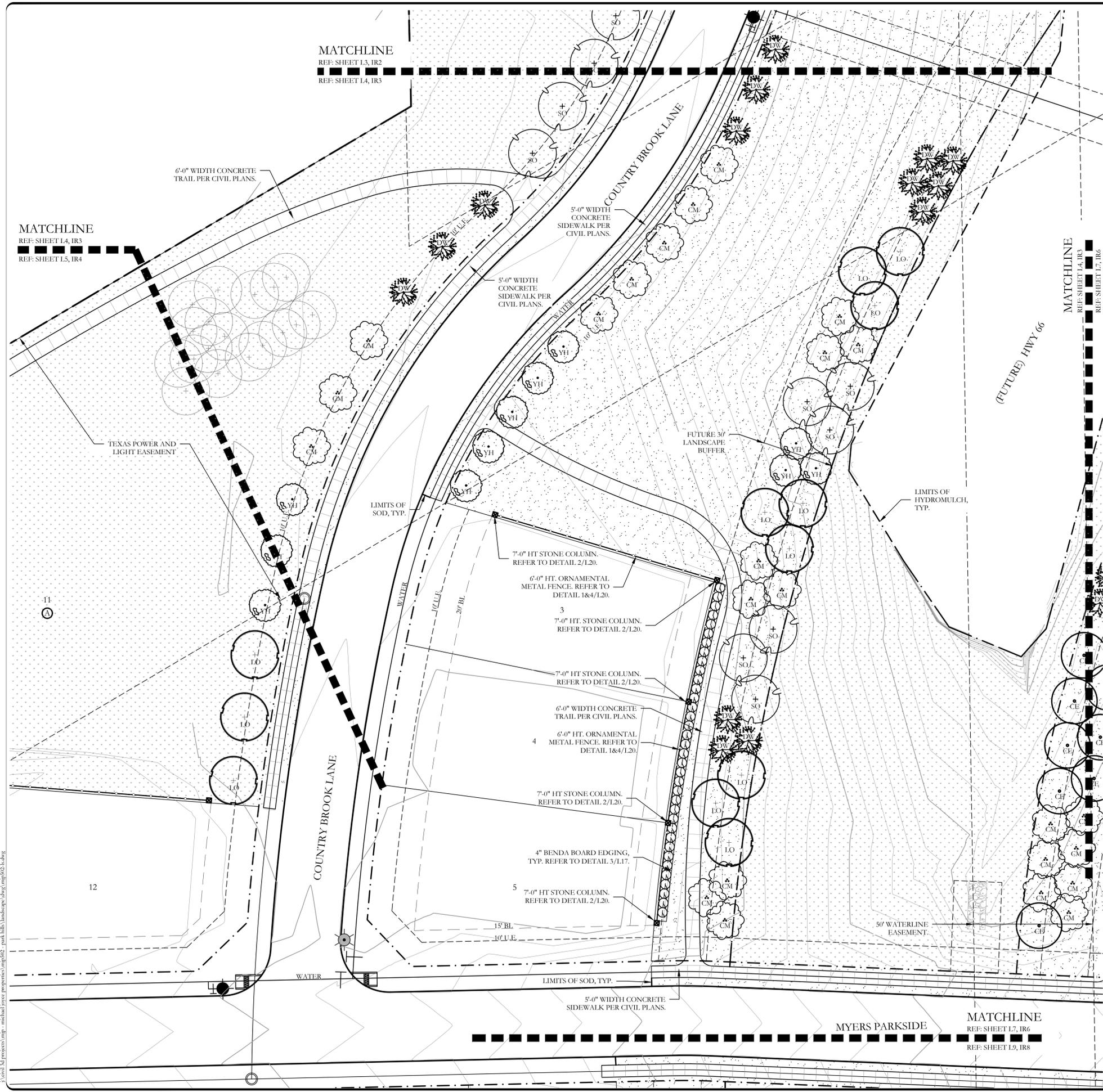
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



SCALE: 1" = 20'

One Inch  
 JVC No. MJP502



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 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

MATCHLINE  
 REF: SHEET L7, IR6  
 REF: SHEET L7, IR6

MYERS PARKSIDE  
 MATCHLINE  
 REF: SHEET L7, IR8  
 REF: SHEET L9, IR8

SCALE: 1" = 20'  
 One Inch  
 JVC No. MJP502

June 05, 2023

CITY PROJECT NO. SP2023-016

**JOHNSON VOLK CONSULTING**  
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

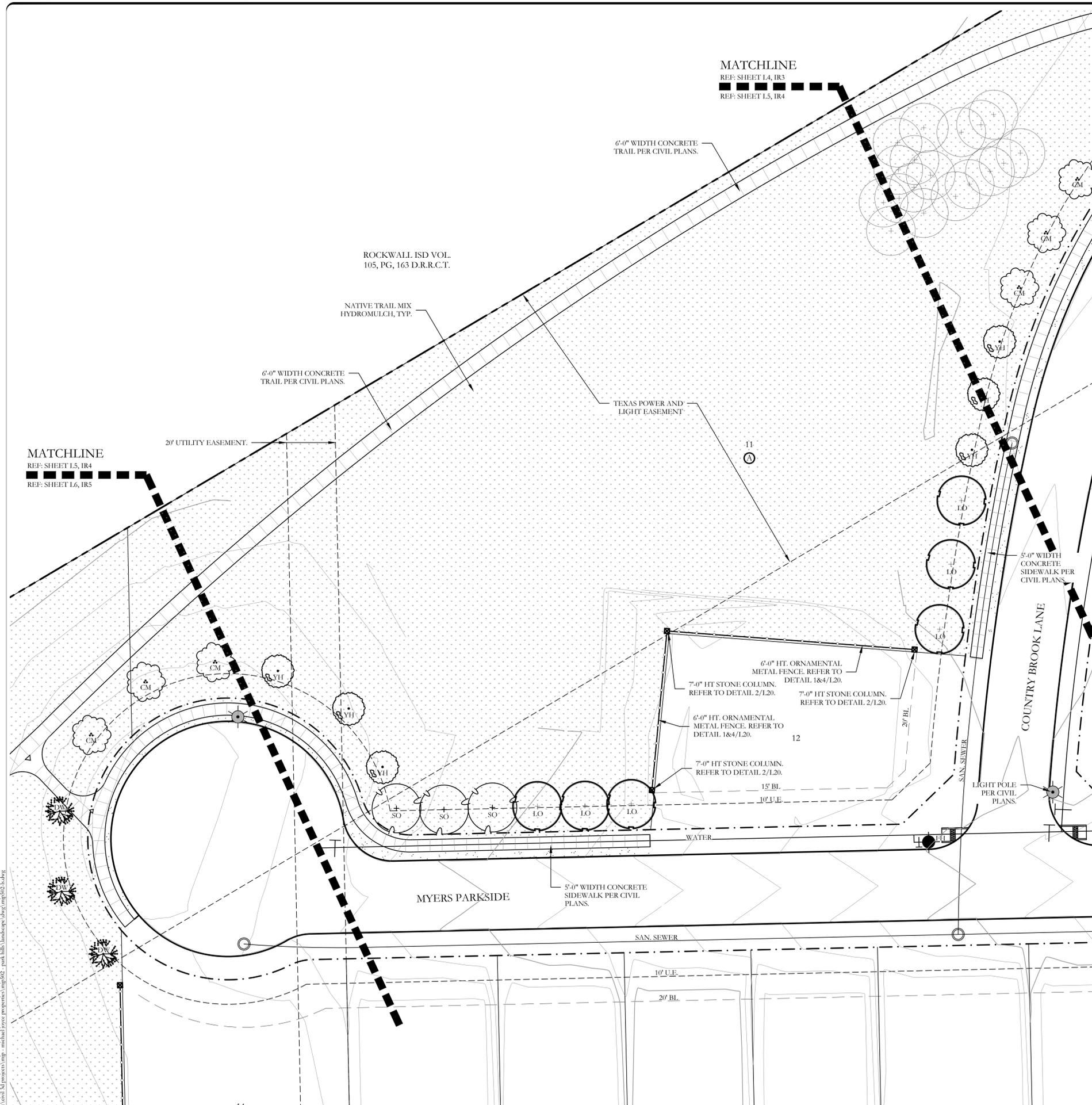
PARK HILLS  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING  
 LANDSCAPE PLAN

June 05, 2023

SCALE: 1" = 20'  
 One Inch  
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L4 of 22



### HARDSCAPE LEGEND

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	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CM	DYNAMITE RED CRAPE MYRTLE	LAGERSTROEMIA INDICA 'WHITE II'	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	5 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	5 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
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		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY

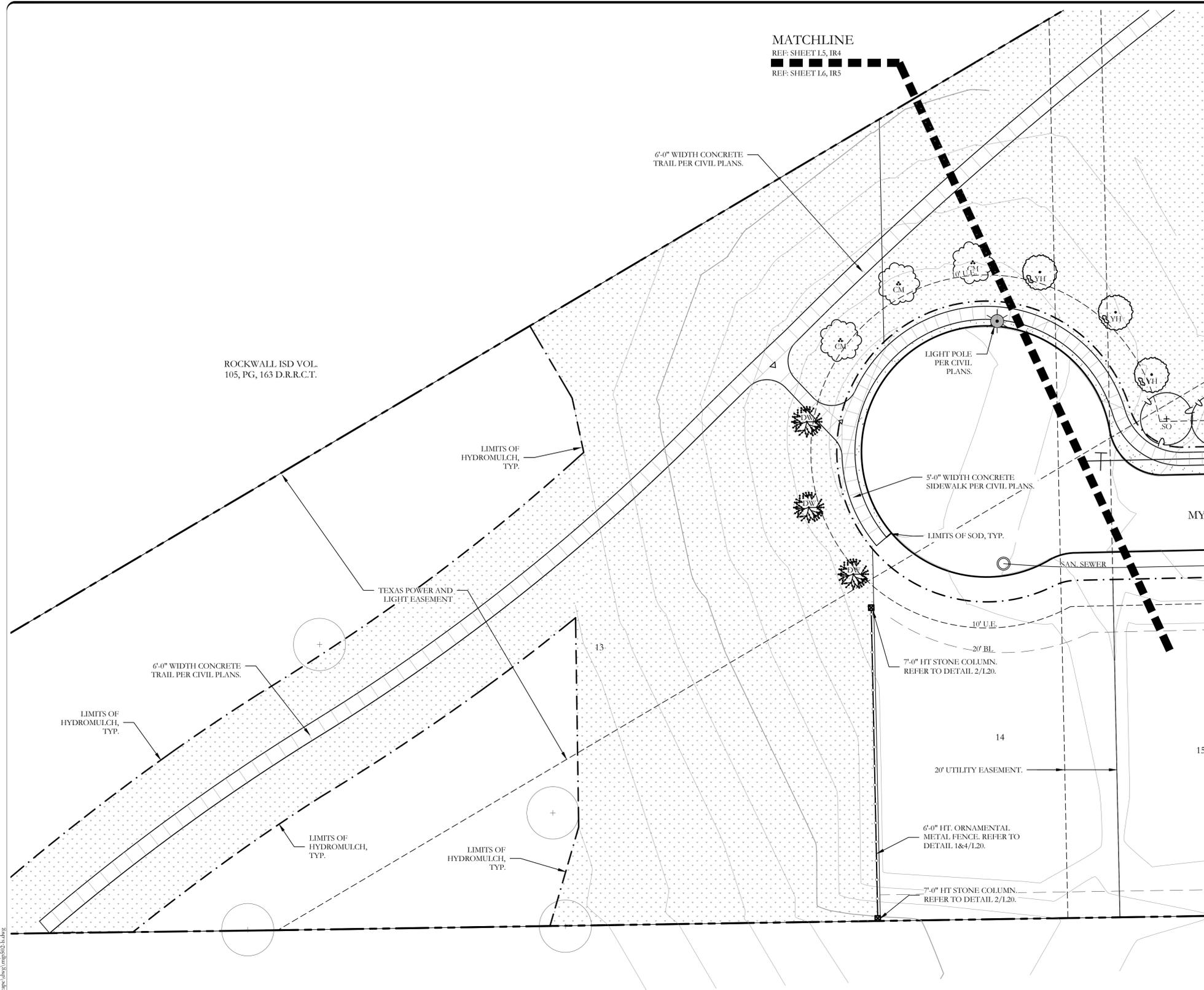
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

SCALE 1" = 20'



MATCHLINE  
 REF: SHEET L5, IR4  
 REF: SHEET L6, IR5

ROCKWALL ISD VOL.  
 105, PG. 163 D.R.R.C.T.

### HARDSCAPE LEGEND

	MAIN ENTRY SIGN REFER TO DETAILS 1/L18.
	SECONDARY ENTRY SIGN REFER TO DETAILS 1/L19.
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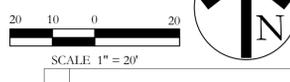
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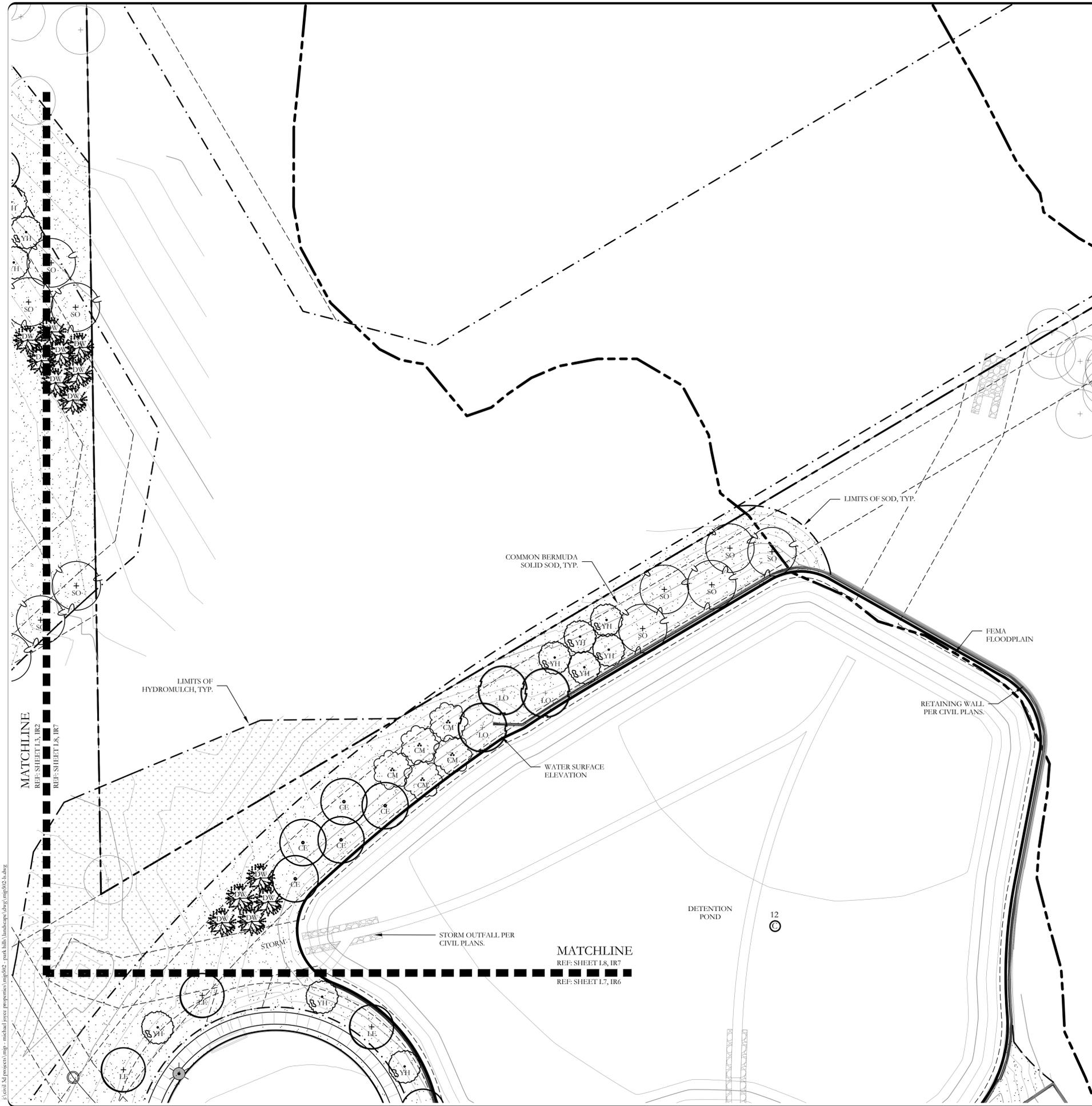


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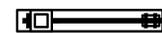
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**HARDSCAPE LEGEND**

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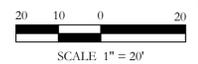
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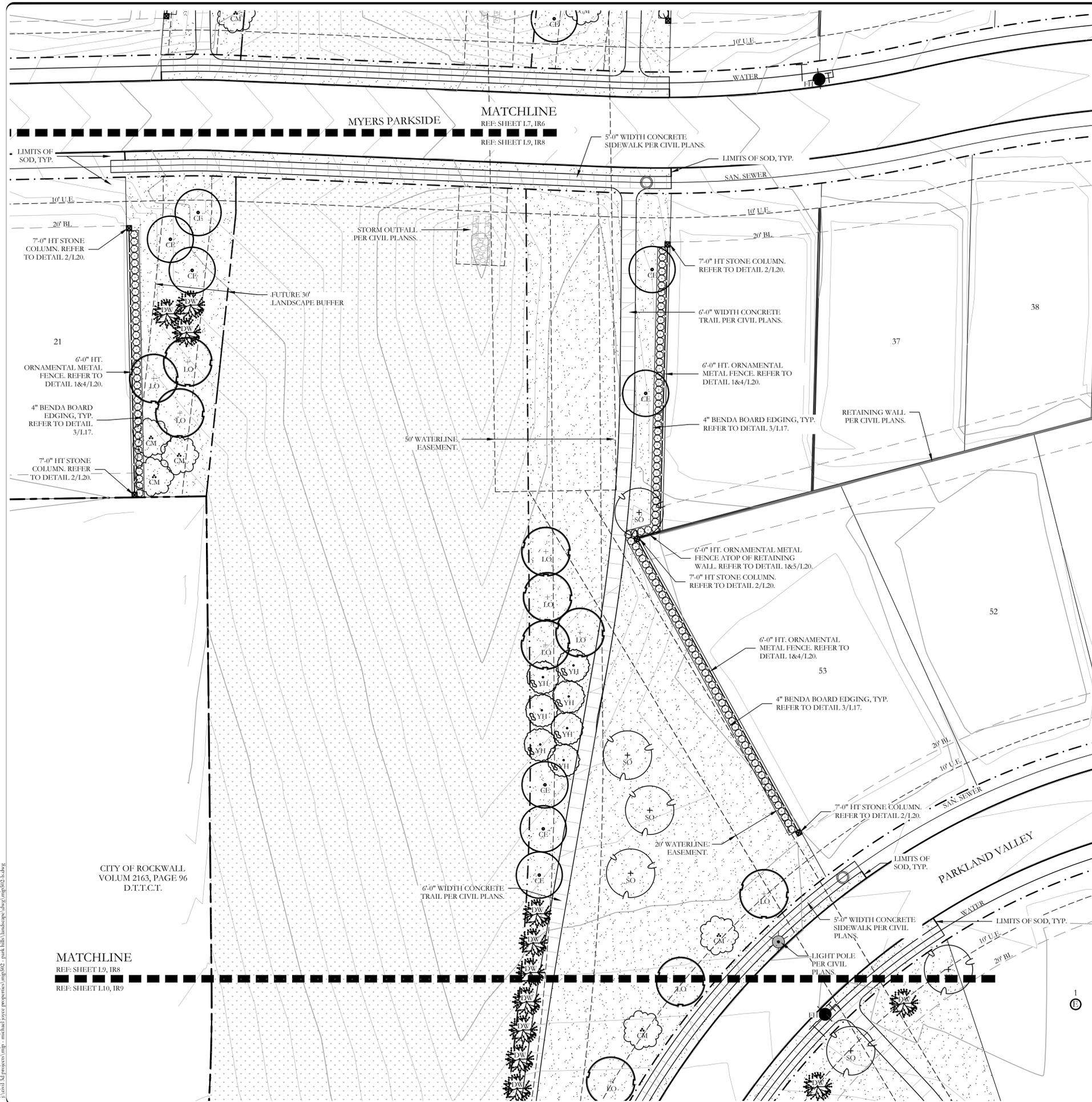
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_



\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



SCALE: 1" = 20'  
 One Inch  
 JVC No. MJP502



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CITY OF ROCKWALL  
VOLUM 2163, PAGE 96  
D.T.T.C.T.

MATCHLINE  
REF: SHEET L9, IR8  
REF: SHEET L10, IR9

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Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

SCALE: 1" = 20'

20 10 0 20

1" = 20'

One Inch

JVC No. MJP502

June 05, 2023

REGISTERED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
2833  
June 05, 2023

**JOHNSON VOLK CONSULTING**  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

PARK HILLS  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING  
LANDSCAPE PLAN

CITY PROJECT NO. SP2023-016

L9 of 22

**MATCHLINE**

REF: SHEET L9, IR8

REF: SHEET L10, IR9

NATIVE TRAIL MIX  
HYDROMULCH, TYP.

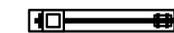
CITY OF ROCKWALL  
VOLUM 2163, PAGE 96  
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**MATCHLINE**

REF: SHEET L10, IR9

REF: SHEET L11, IR10

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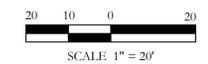
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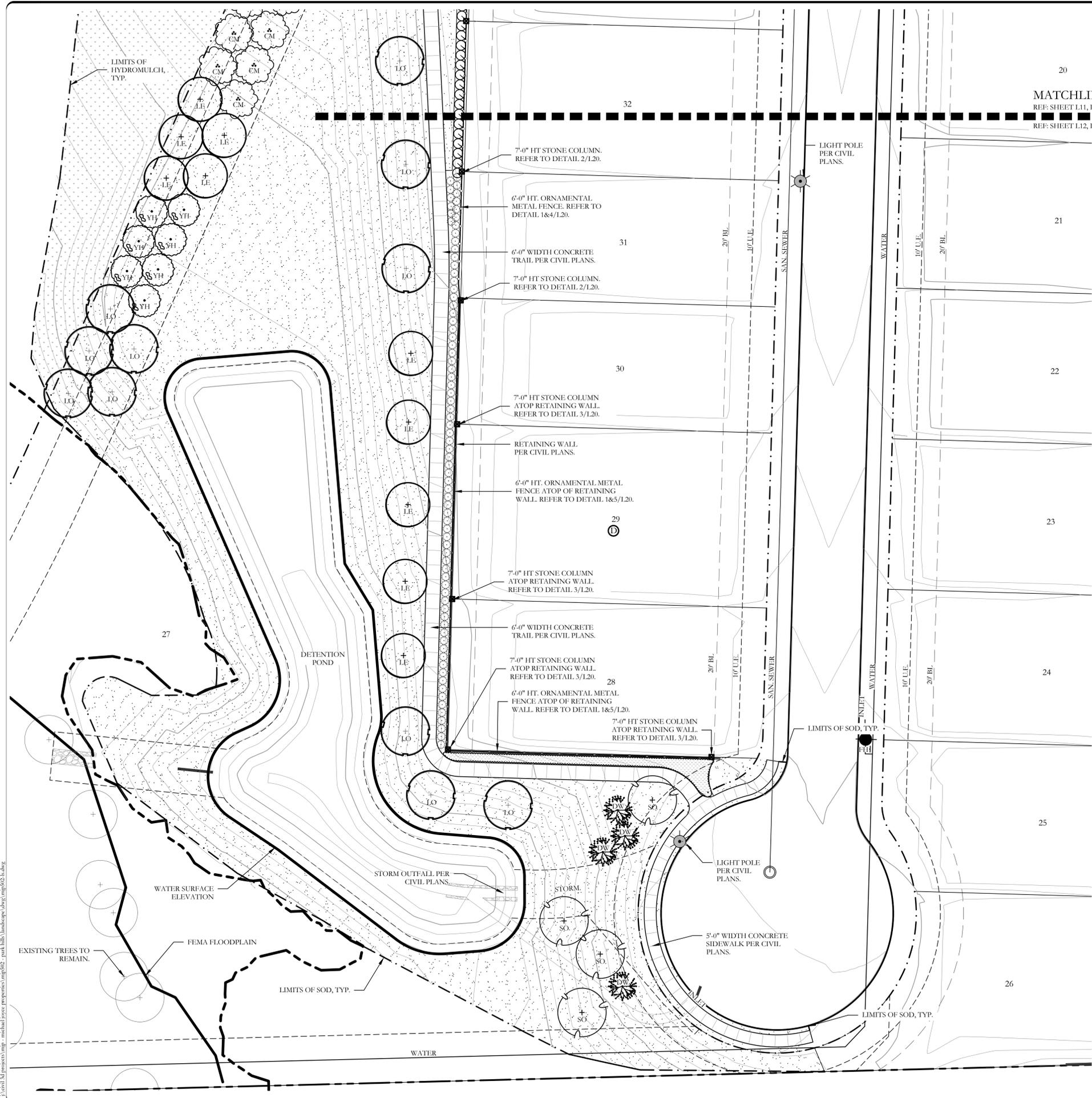
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SCALE: 1" = 20'

One Inch

JVC No. MJP502

L12 of 22



**JOHNSON VOLK CONSULTING**  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

PARK HILLS  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING  
 LANDSCAPE PLAN



June 05, 2023

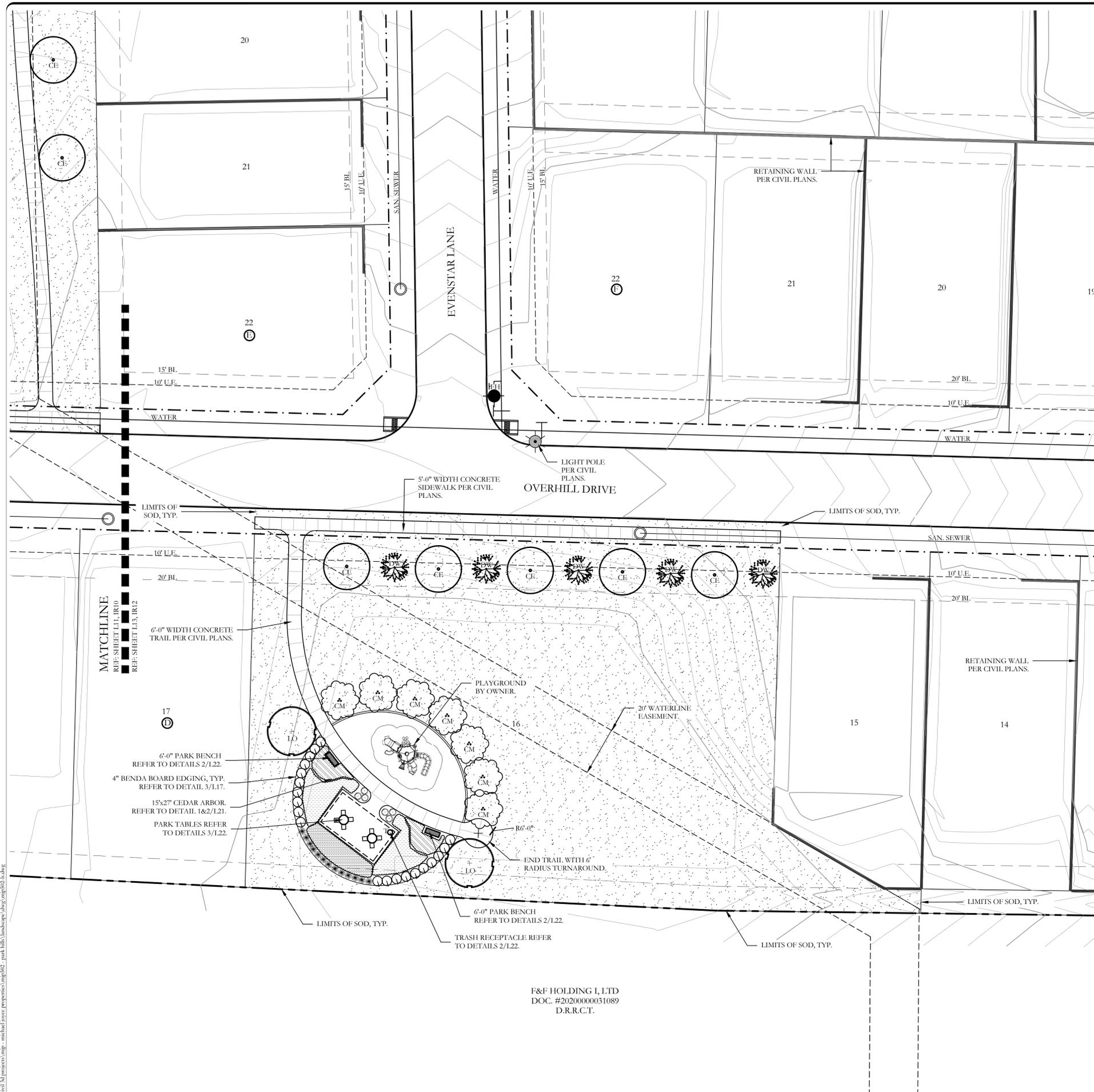
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JVC No. MJP502

L12 of 22

CITY PROJECT NO. SP2023-016



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		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	5 GALLON	36" O.C.
		COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		NATIVE TRAIL MIX HYDROMULCH BY NATIVE AMERICAN SEED CO.		SQUARE FEET	MIN. 100% COVERAGE AT 70% DENSITY

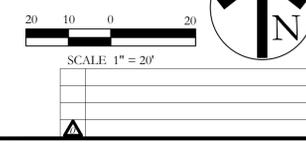
F&F HOLDING I, LTD  
DOC. #2020000031089  
D.R.R.C.T.

**APPROVED:**  
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning





### HARDSCAPE LEGEND

	MAIN ENTRY SIGN REFER TO DETAILS 1/L18.
	SECONDARY ENTRY SIGN REFER TO DETAILS 1/L19.
	7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/L20.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 18&4/L20.
	7'-0" HT. STONE COLUMN ATOP OF RETAINING WALL. REFER TO DETAIL 3/L20.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 18&5/L20.
	4'-0" HT. SPLIT RAIL FENCE. REFER TO DETAIL 4/L21.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

NOTE: BEFORE THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR ANY RESIDENTIAL LOT THERE MUST BE TWO (2) FOUR (4) INCH CALIPER CANOPY TREES PLANTED IN FRONT OF HOME AND FOUR (4) FOUR (4) INCH CALIPER TREES ON CORNER LOTS.

### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
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	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
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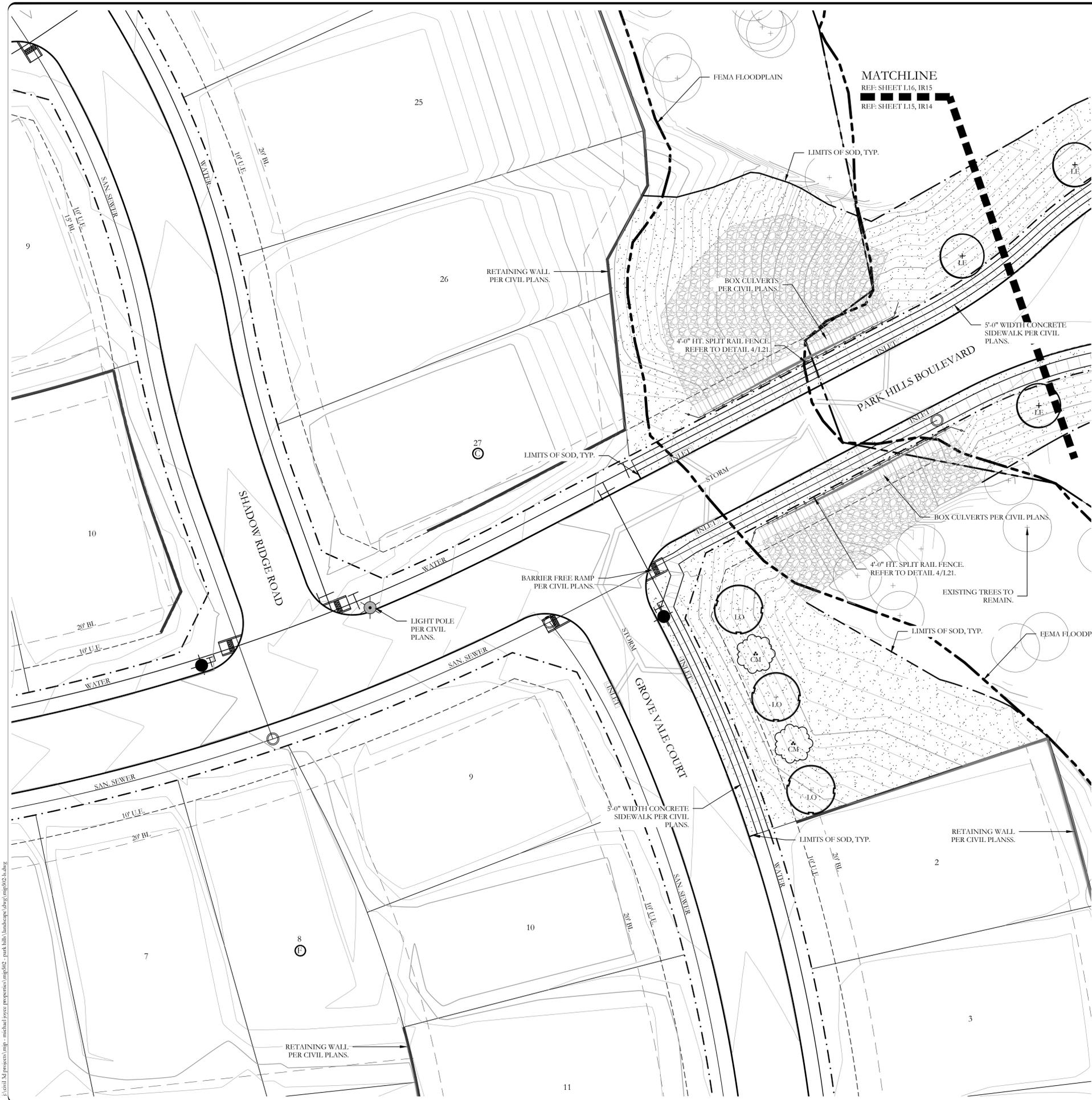
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

SCALE 1" = 20'  
 One Inch  
 JVC No MJP502

P:\civil\_3\projects\imp - michael jones\properties\imp502 - park hills\landscape\dwg\imp502\_landscape.dwg

CITY PROJECT NO. SP2023-016



### HARDSCAPE LEGEND

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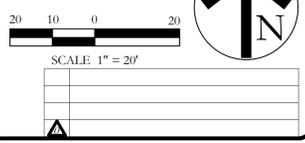
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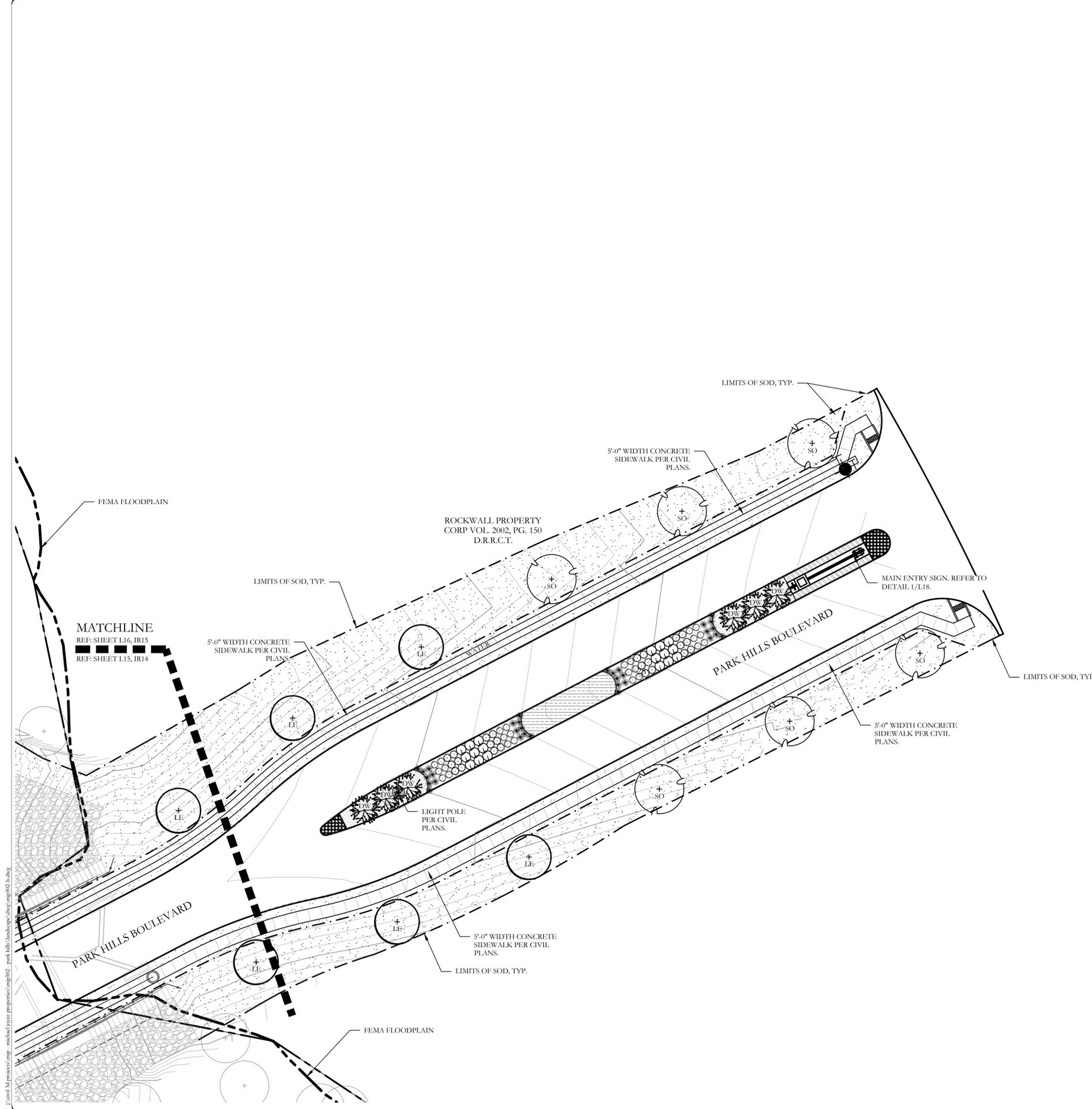
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Planning & Zoning Commission, Chairman

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Director of Planning and Zoning





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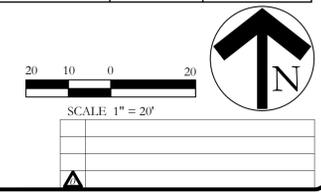
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\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning



PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	69	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	65	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	42	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	40	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CM	69	DYNAMITE RED CRAPE MYRTLE	LAGERSTROEMIA INDICA 'WHIT II'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 4'-0" OVERALL HEIGHT.
YH	76	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 4'-0" OVERALL HEIGHT.
DW	109	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 4'-0" OVERALL HEIGHT.
	213	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	45	DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	161	PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	34	COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	368	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	216	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	492	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	405,731	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	278,113	NATIVE TRAIL MIX BY NATIVE AMERICAN SEED CO.		SQUARE FEET	HYDROMULCH	MIN 100% COVERAGE ALL AREAS SHOWN AT 70% DENSITY

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULLED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

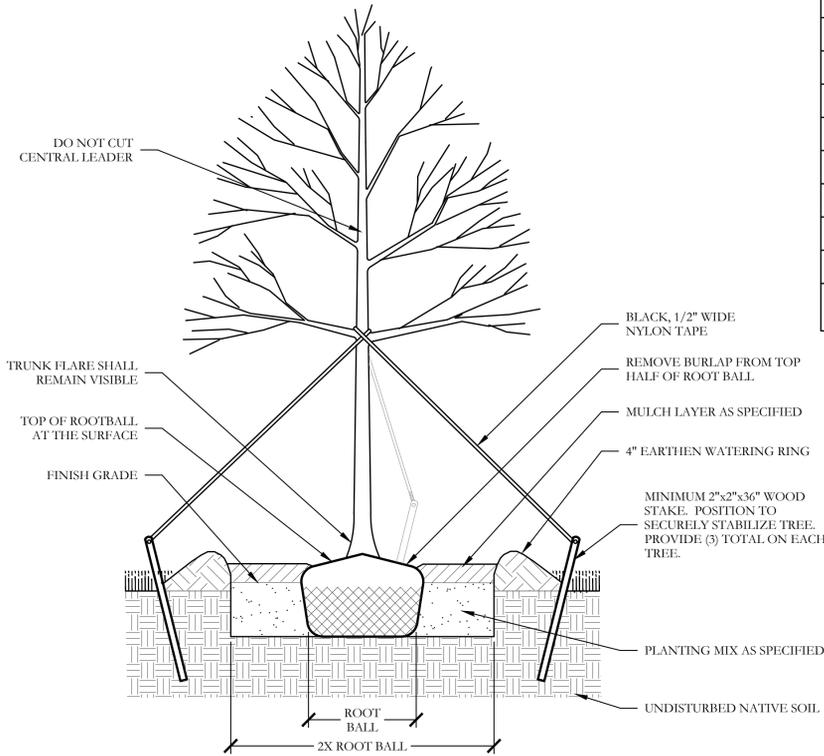
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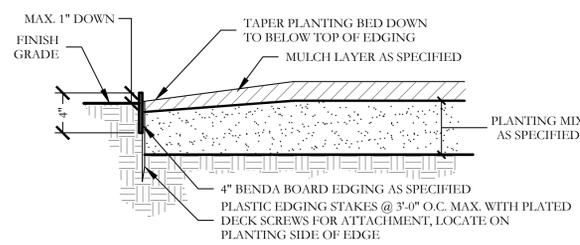
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Planning & Zoning Commission, Chairman

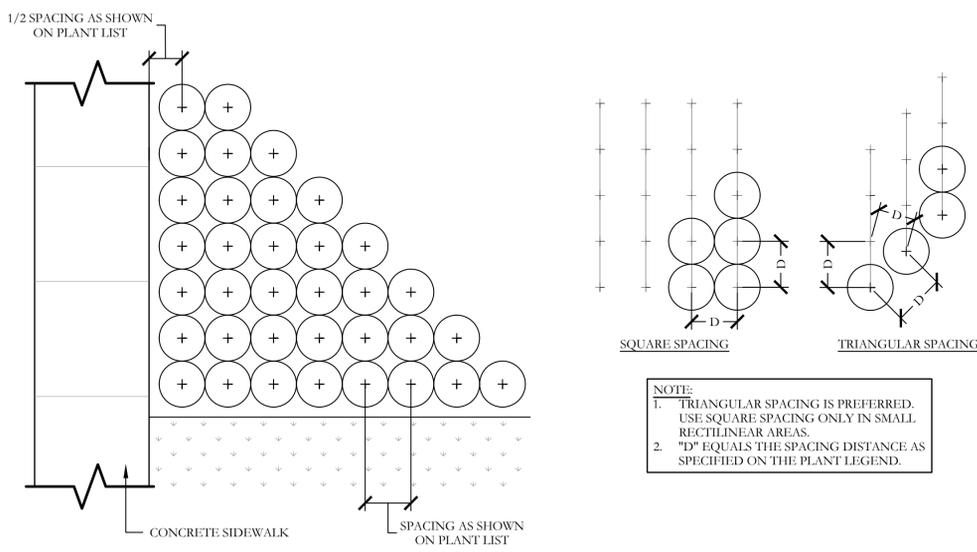
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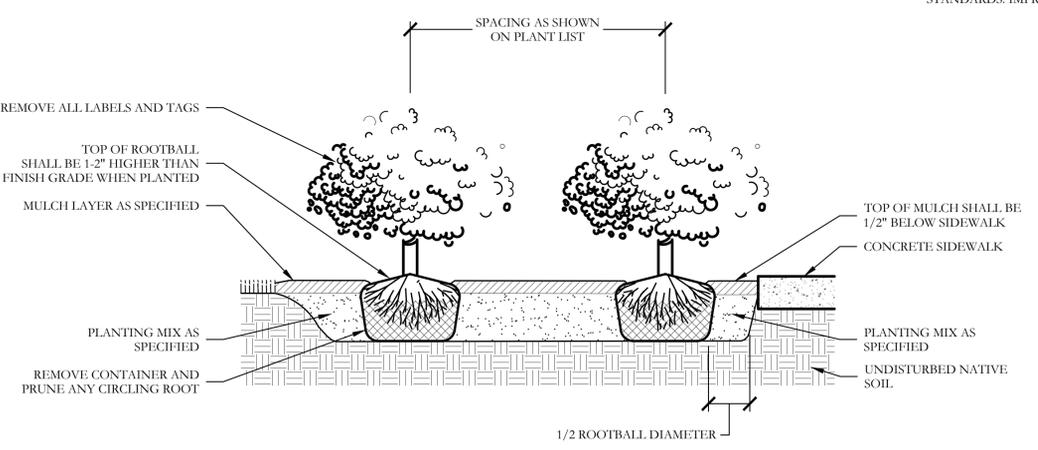
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



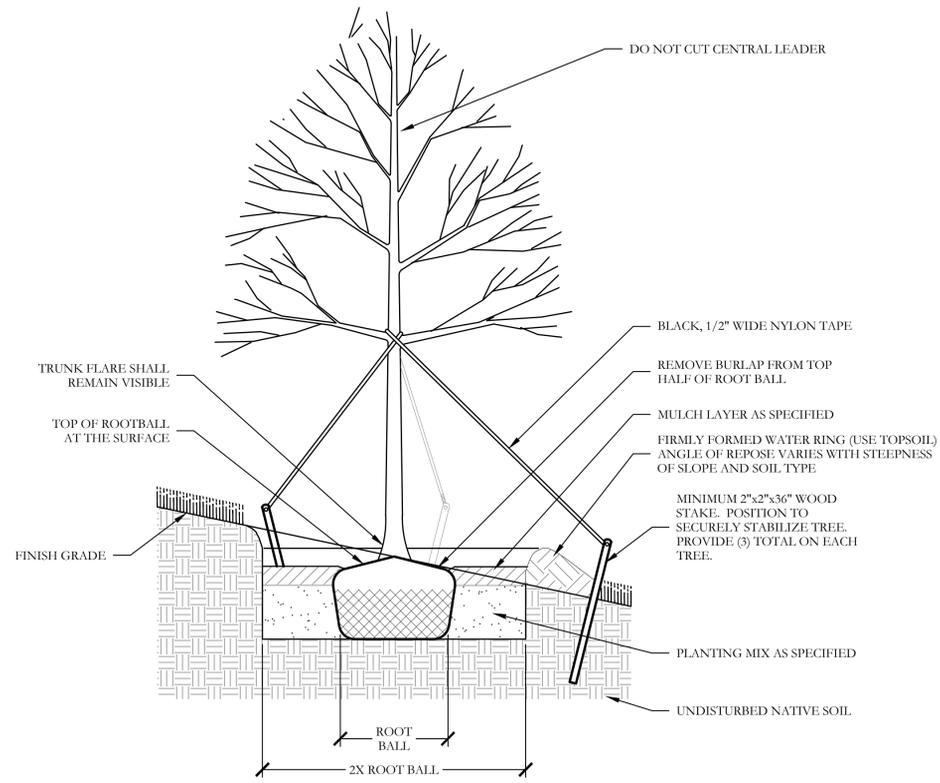
3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUND COVER PLANTING SECTION NOT TO SCALE



1 TYPICAL TREE PLANTING ON SLOPE SECTION NOT TO SCALE

P:\civil\_3\projects\imp - meadow Joyce properties\imp502 - park hills\landscape.dwg\imp502.lay

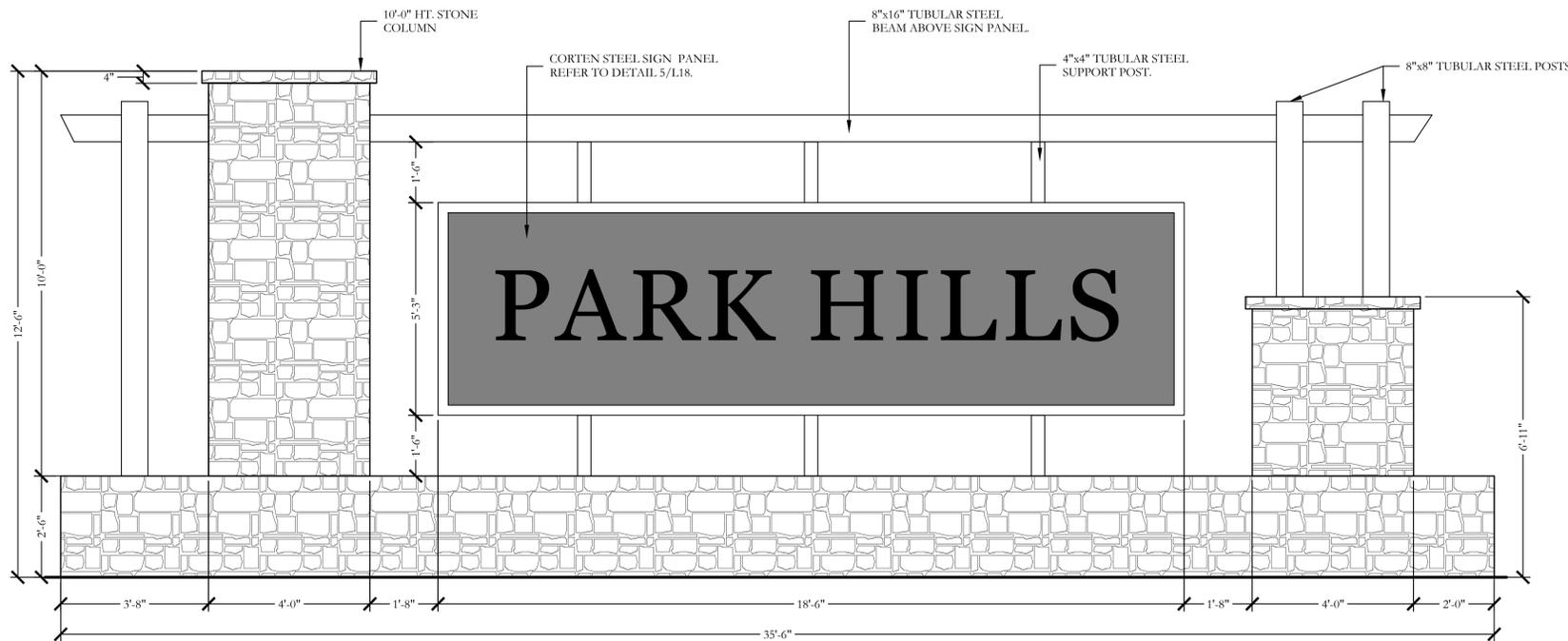
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Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning


SCALE:  
REFER TO  
DETAILS  
One Inch  
JVC No. MJP502



1 MAIN ENTRY SIGN ELEVATION

SCALE: 1/2"=1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
  - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
  - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
  - CHLORIDES SHALL NOT BE USED.
  - MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
  - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
    - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
    - CONCRETE EXPOSED TO EARTH OR WEATHER:
      - (A) BARS LARGER THAN NO. 5: 2 INCHES
      - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
    - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
      - SLABS, WALLS AND JOISTS
        - (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
        - (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
      - BEAMS AND COLUMNS: 1-1/2 INCHES
      - SHELLS AND FOLDED PLATES
        - (A) BAR LARGER THAN NO. 5: 3/4 INCHES
        - (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
  - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
  - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
  - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
  - PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
  - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
  - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
  - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
  - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
  - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
  - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
  - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
  - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
  - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
  - PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.

**APPROVED:**  
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



1 SECONDARY ENTRY SIGN  
ELEVATION

SCALE: 1/2"=1'-0"

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

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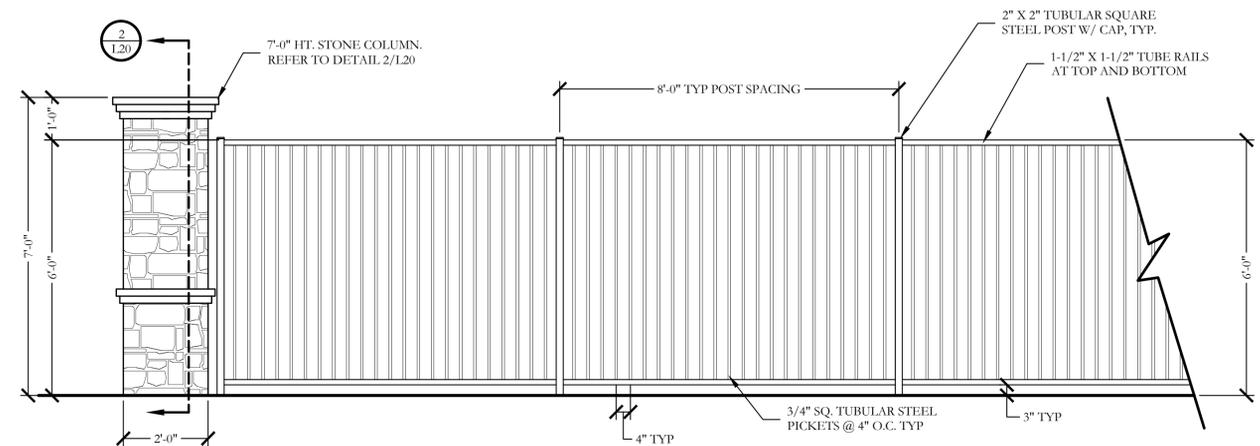
06-05-2023

SCALE:  
REFER TO DETAILS  
One Inch

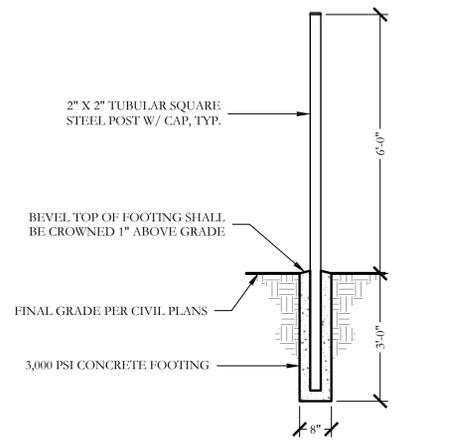
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L19 of 22

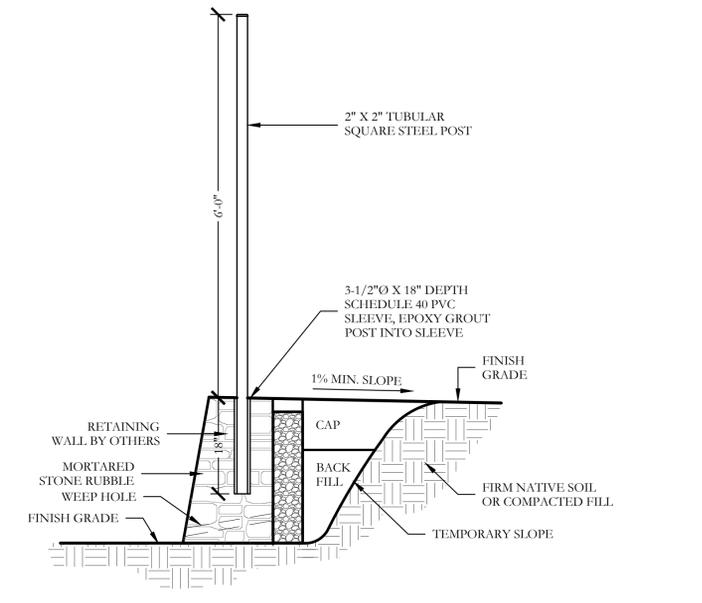
I:\civil\_3d\projects\imp...michael foxe\properties\imp502\_park hills\landscape.dwg,imp502.dwg



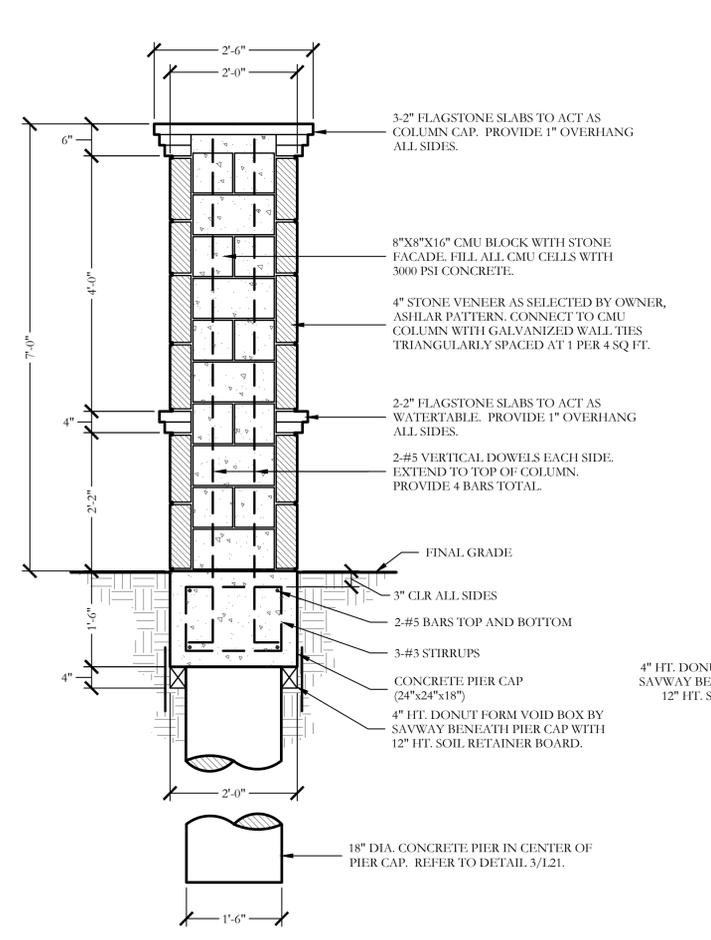
1 6'-0" HT. ORNAMENTAL METAL FENCE AND COLUMN ELEVATION SCALE: 1/2"=1'-0"



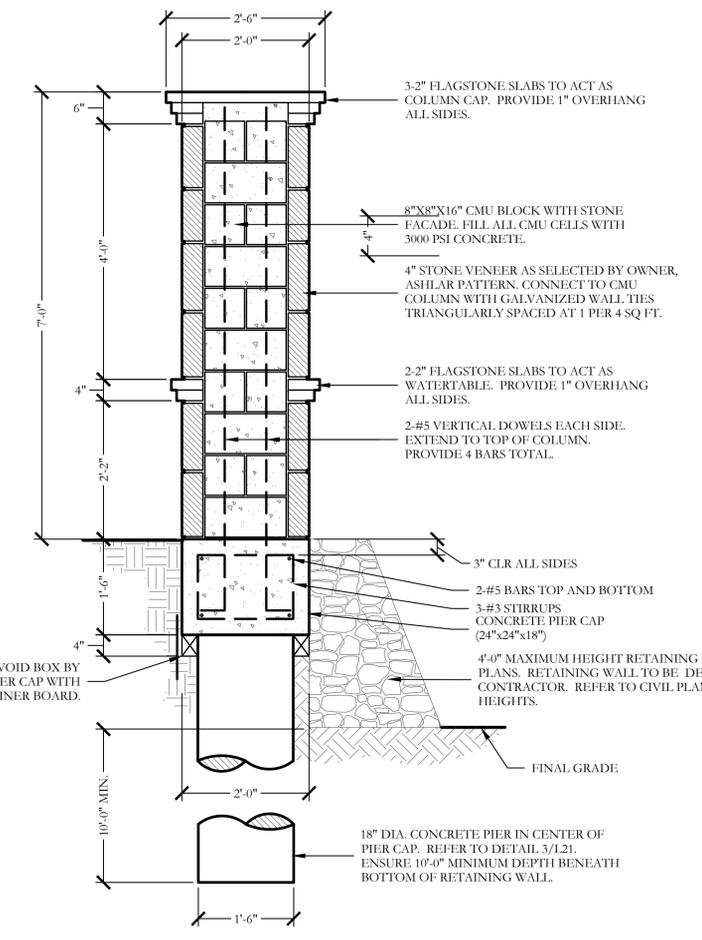
4 TYPICAL METAL POST FOOTING SECTION SCALE: 1/2"=1'-0"



5 6'-0" HT. ORN. METAL FENCE ATOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"



2 7'-0" HT. STONE COLUMN SECTION SCALE: 3/4"=1'-0"



3 7'-0" HT. STONE COLUMN ATOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 10.1. PICKETS, 3/4" SQUARE 16 GA.
  - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
  - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONCRETE FOOTING FOR POSTS SHALL BE A MINIMUM OF 3X POST WIDTH.
12. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
13. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

WALL NOTES

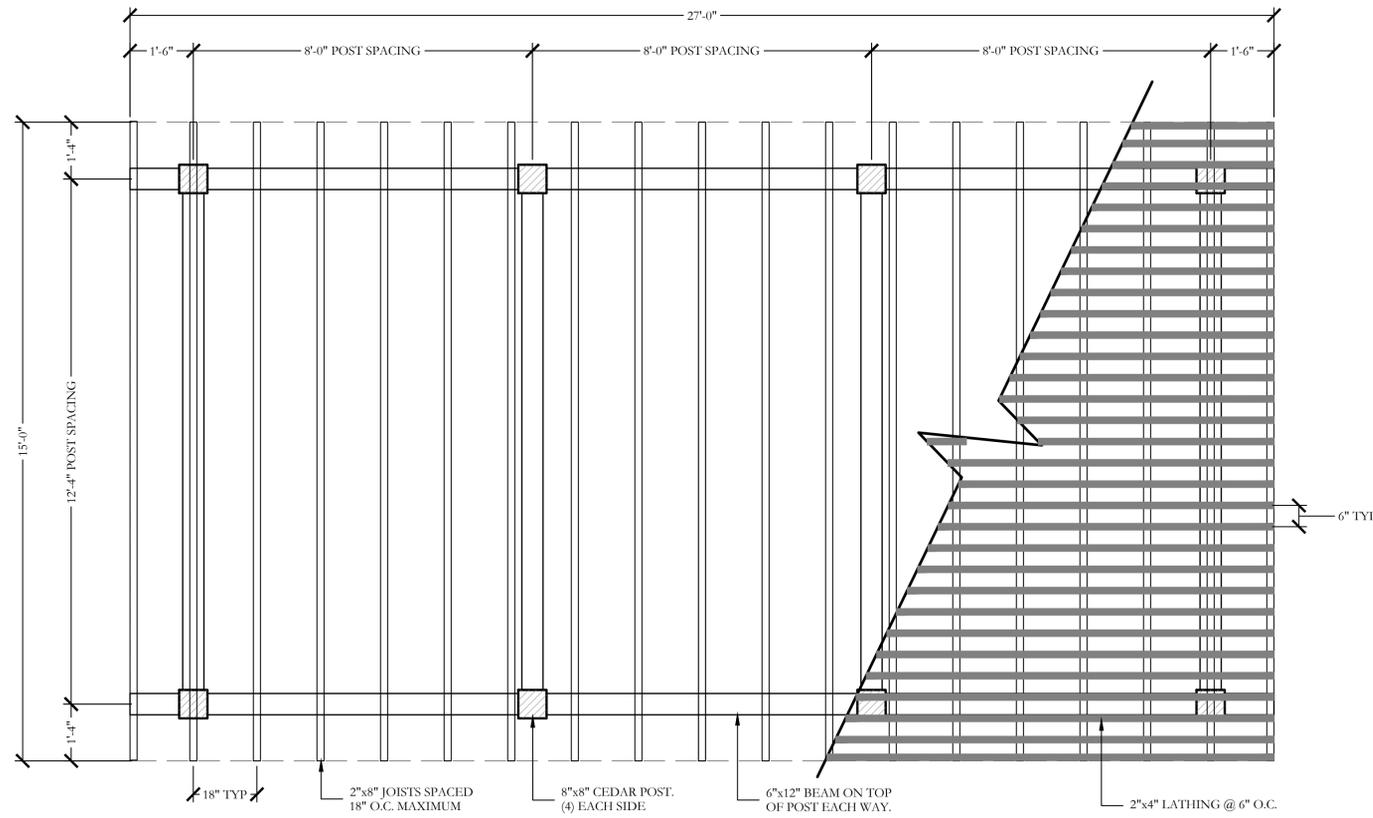
1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A82, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S, MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
11. STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
13. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
14. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
15. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
16. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
17. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

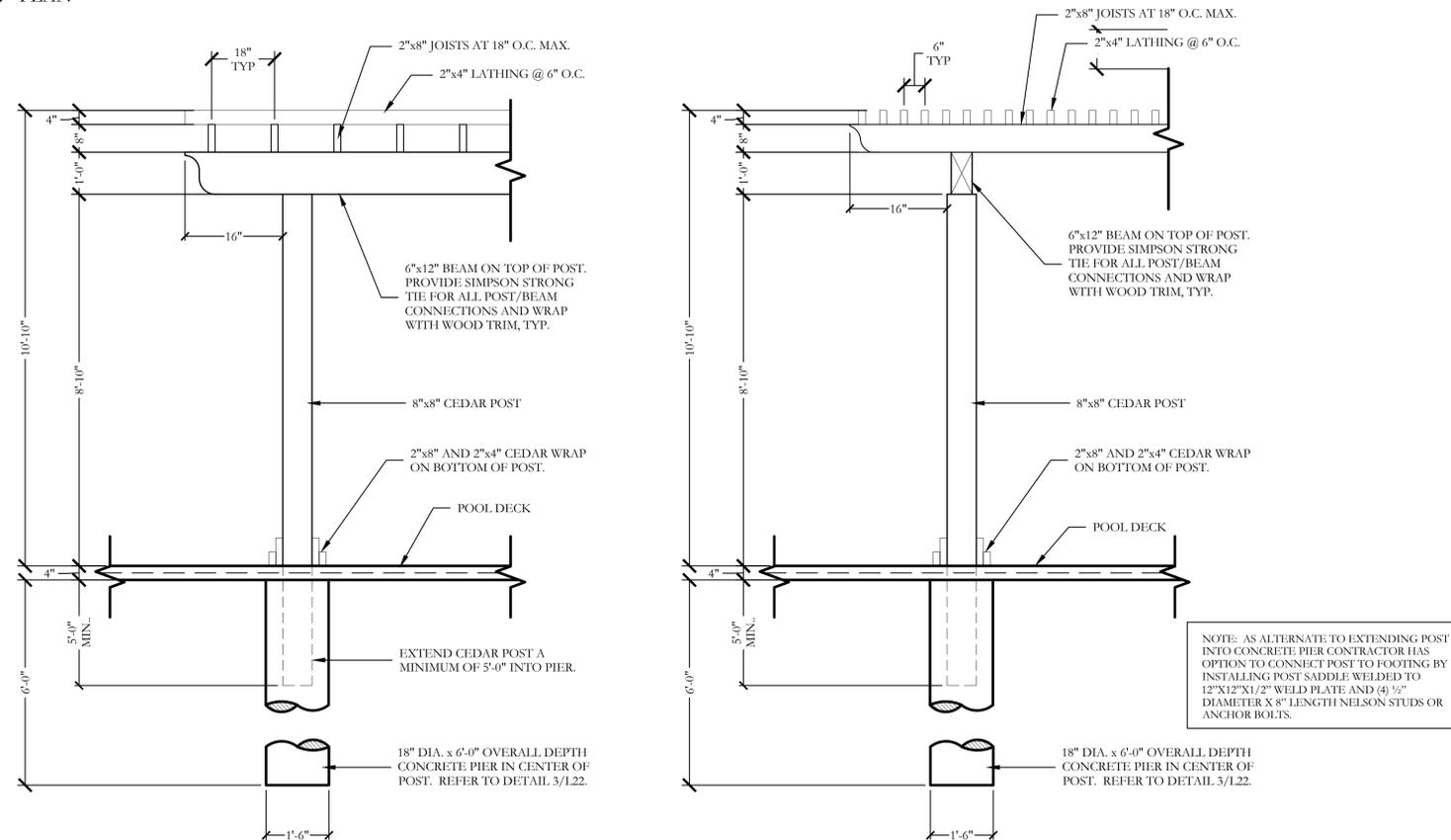
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



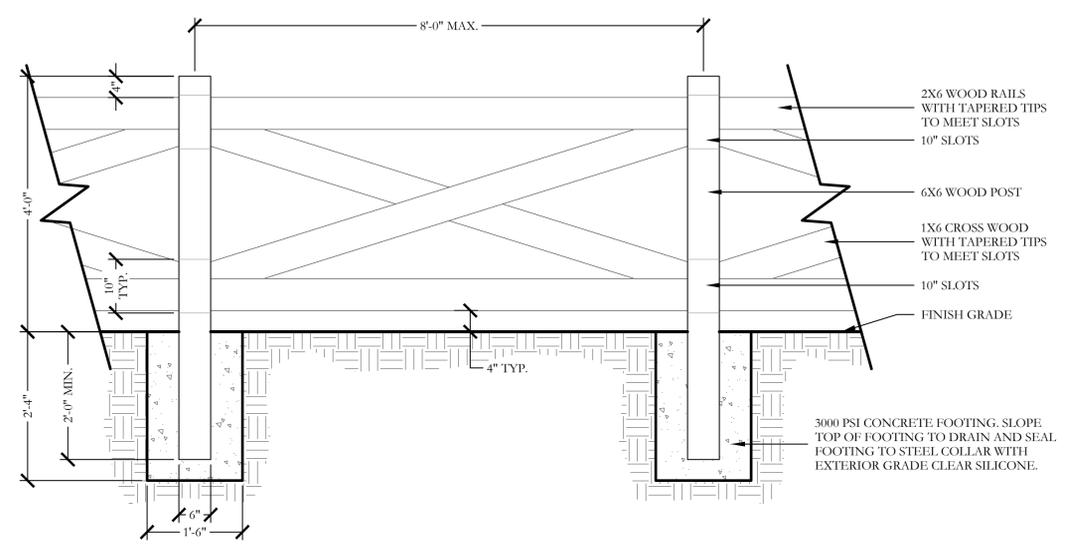
1 CEDAR SHADE STRUCTURE LAYOUT (15'-0" x 27'-0")  
PLAN

SCALE: 1/2" = 1'-0"



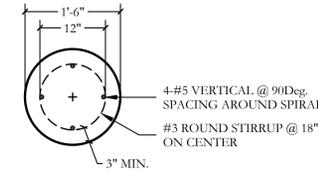
2 CEDAR SHADE STRUCTURE DETAILS  
SECTION

SCALE: 1/2" = 1'-0"

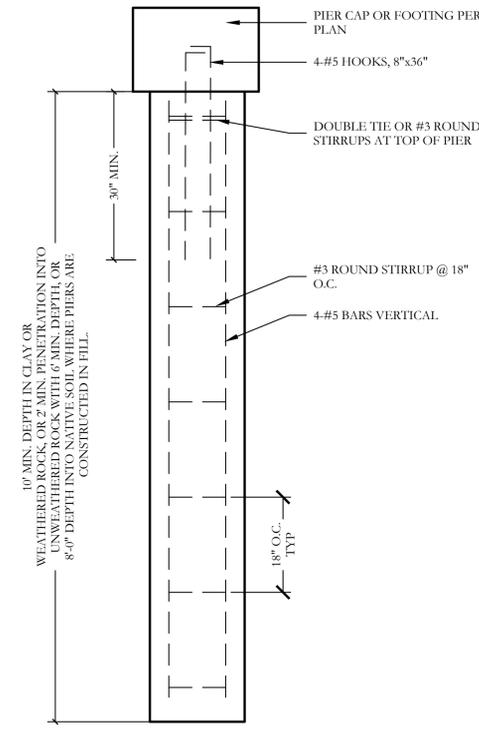


4 4'-0" HT. SPLIT RAIL FENCE  
SECTION

SCALE: 3/4" = 1'-0"



PLAN/SECTION



3 PIER (18" DIA.)  
SECTION

SCALE: 3/4" = 1'-0"

**CEDAR SHADE STRUCTURE NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE CITY AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
- ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY CODES AND REQUIREMENTS.
- WOOD MATERIAL FOR FENCE:
  - JOIST-CEDAR, #2 GRADE OR BETTER.
  - BEAM-CEDAR, #2 GRADE OR BETTER.
  - POST-CEDAR, #2 GRADE OR, BETTER.
- ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC... ARE TO BE HOT DIPPED GALVANIZED.
- IF SIMPSON STRONG TIES ARE USED FOR SECURING THE BEAMS TO POSTS, CONTRACTOR SHALL HIDE THE BRACKETS WITH CEDAR TRIM.
- ACCURATELY CUT, FIT FASTEN MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL WOOD MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.

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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman  
\_\_\_\_\_  
Director of Planning and Zoning



TRASH CONTAINERS

T 800-716-5506  
F 977-260-9393  
WWW.MAGLIN.COM  
SALES@MAGLIN.COM

MLWR200-20-ST

**MATERIALS:** The trash container frame is constructed using heavy duty steel flat bar. A 20 gallon commercial grade plastic liner and standard metal lid are provided.

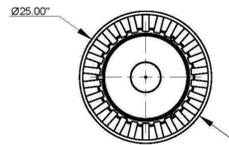
**FINISH:** All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

**INSTALLATION:** The trash container is delivered pre-assembled. Holes (0.5") are provided in each mounting foot for securing to base.

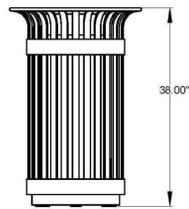
**TO SPECIFY:** Select MLWR200-20

Choose:  
- Powdercoat Color  
- Standard Lid (ST) or lid options shown below

**OPTIONS:**  
- Dome Lid (DL20)  
- Paper Slot Lid (PS)  
- Bottles/Can Slot Lid (BC)  
- Side Ash Receptacle (SA)  
- Side Opening (MLWR200S-20)



**DIMENSIONS:**  
Height: 38.00" (96.5 cm)  
Diameter: 25.00" (63.5 cm)  
Weight: 170lbs (77kg)  
Liner Capacity: 20.0 Gallons  
75.7 Litres



MOUNTING FEET

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\*MAGLIN is a registered trademark of Maglin Site Furniture Inc.

1 TRASH RECEPTABLE

MANUFACTURER CUT SHEET

NTS

ALL MAGLIN SITE FURNISHINGS SHALL BE POWDER-COATED BLACK IN COLOR.

MLB310-M

310 SERIES



**MATERIALS:** Bench ends are made from solid cast aluminum. The seat employs flat bar straps and H.S. steel tube.

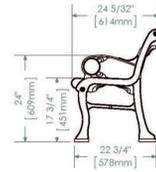
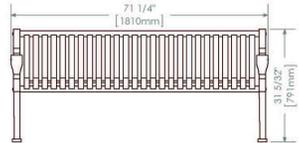
**FINISH:** All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

**INSTALLATION:** The bench is delivered pre-assembled. Holes (0.5") are provided in each foot for securing to base.

**TO SPECIFY:** Select MLB310-M

Choose:  
- Powdercoat Color

**OPTIONS:**  
- Horizontal Steel Straps (MLB310-MH)  
- Center Arm  
- Plaque  
- Personalization



**DIMENSIONS:**  
Height: 31.16" (79.1cm)  
Length: 71.25" (181.0cm)  
Seat Height: 17.75" (45.1cm)  
Weight: 134.4lbs (61kg)



T 800-716-5506  
F 977-260-9393  
WWW.MAGLIN.COM  
SALES@MAGLIN.COM

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2 6'-0" PARK BENCH

MANUFACTURER CUT SHEET

NTS

MLPT1100B-W

1100 SERIES



**MATERIALS:** Table top and seats are manufactured using ipe slats. The frame is H.S. steel tube and is available as surface mount only.

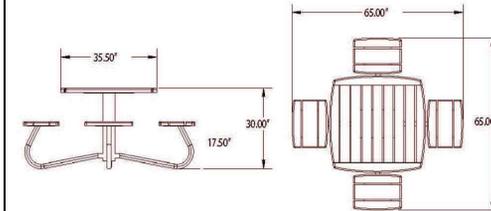
**FINISH:** The Maglin Powdercoat System provides a durable finish on all metal surfaces. Wood slats are treated with penetrating sealers.

**INSTALLATION:** The table is delivered pre-assembled.

**TO SPECIFY:** Select MLPT1100B-W

Choose:  
- Powdercoat Color

**OPTIONS:**  
- Wheelchair Accessibility (WCA)  
- Garming Board (GB)



**DIMENSIONS:**  
Table Height: 30" (76.2 cm)  
Total Length: 65" (165.0 cm)  
Table Width: 35.5" (91.5 cm)  
Seat Width: 17.5" (44.5 cm)



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3 CAMDEN TABLE

MANUFACTURER CUT SHEET

NTS

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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



PARK HILLS  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING  
HARDSCAPE DETAILS

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

06-05-2023

SCALE:  
REFER TO DETAILS

One Inch

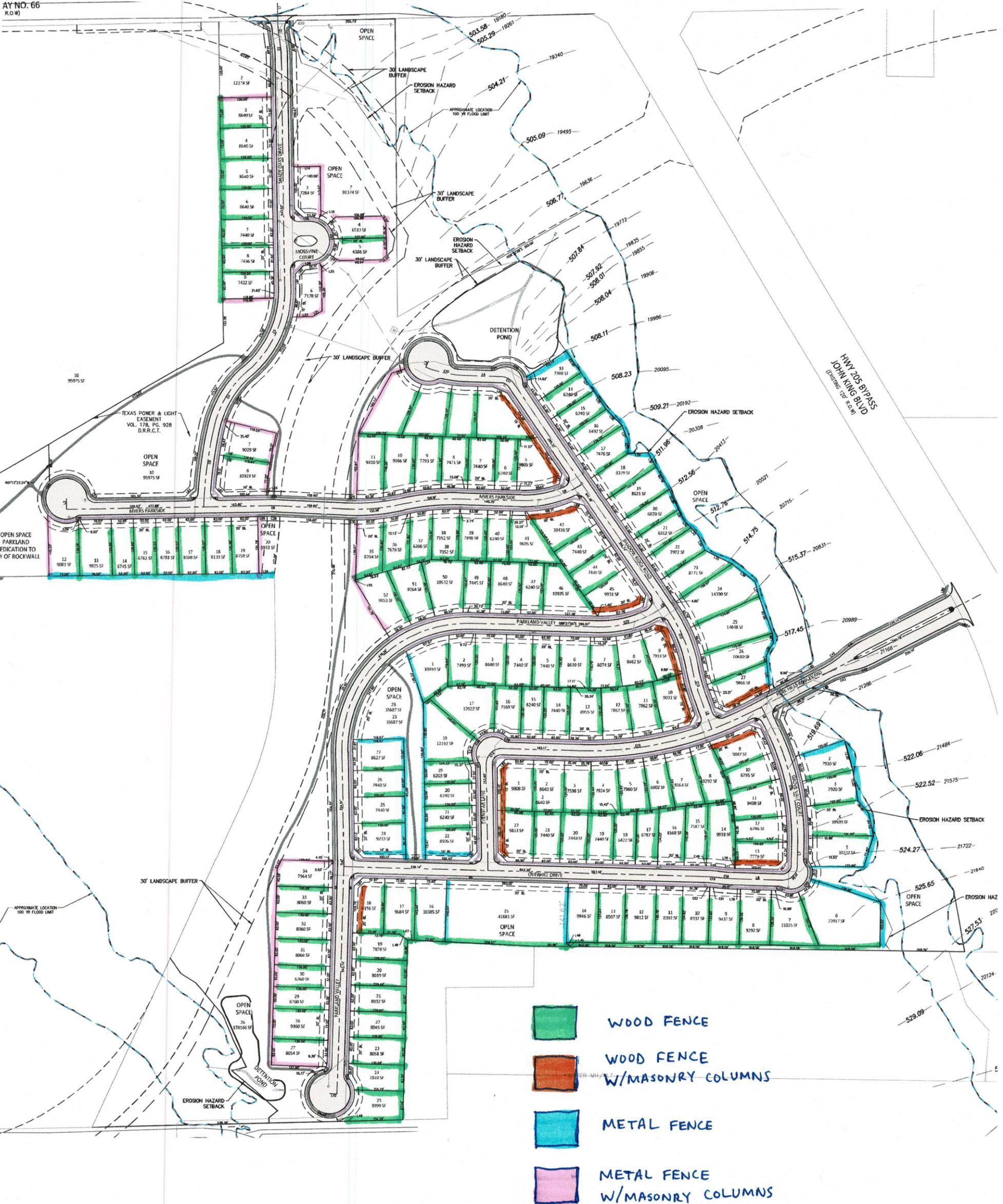
JVC No MJP502

L22 of 22

CITY PROJECT NO. SP2023-016

# PARK HILLS

USE FOR FENCE MAP ONLY - DRAWING NOT TO SCALE





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 13, 2023  
**APPLICANT:** Christopher Curra  
**CASE NUMBER:** Z2023-024; *Specific Use Permit (SUP) for a Residential Infill for 311 Valiant Drive*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. The subject property was platted as Lot 6, Block C, Chandler's Landing, Phase 16 Addition on August 5, 1985 by *Case No. PZ1985-050-01*. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was originally platted.

### PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 311 Valiant Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are various parcels of land along Valiant Drive and Victory Lane developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is Single Ridge Place, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 20 of the Chandlers Landing Subdivision, which consists of 63 lots on 12.11-acres and is zoned Planned Development District 8 (PD-8).

South: Directly south of the subject property are two (2) parcels of land (*i.e. 313 and 315 Valiant Drive*) developed with a single-family homes and zoned Planned Development District 8 (PD-8). Beyond this are various parcels of land along Freedom Court that are in Phase 15 of the Chandler's Landing Subdivision, which consists of 88-lots with single-family homes on 37.37-acres.

East: Directly east of the subject property are various parcels of land developed with single-family homes. Beyond this is Freedom Court, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 19 of the Chandlers Landing Subdivision, which sits on 22-acres and consists of 77 lots.

West: Directly west of the subject property is Valiant Drive, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (i.e. 314 and 318 Valiant Drive) developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is Phase 20 of the Chandlers Landing Subdivision, which consists of 63 lots on 12.11-acres.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 16 of the Chandler’s Landing Subdivision, which has been in existence since 1985, consists of 59 single-family residential lots, and is 96.61% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Valiant Court compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Valiant Drive	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Valiant Drive are oriented towards Valiant Drive	The front elevation of the home will face onto Valiant Drive.
Year Built	1992-2000	N/A
Building SF on Property	2,534 SF – 4,101 SF	3,188 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	Brick, Stone and Siding	Stone Veneer, Stucco Siding
Paint and Color	White, Cream, and Red	White
Roofs	Composite Shingles	N/A
Driveways	Driveways are all in the front and visible from Valiant Drive with the orientations being <i>flat front entry, garage forward entry, side entry, and ‘J’ or traditional swing entry.</i>	The garage will be situated 2-feet from the front façade of the home.

In this case, the applicant is proposing a home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home. Staff estimates that the garage will protrude approximately two (2)

feet in front of the front façade of the home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Chandler's Landing Subdivision extends from 1992-2000, there are several examples of houses in this area that have a similar garage configuration.

- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC) all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with a flat roof. Staff should point out that all of the homes in this phase of the Chandler's Landing Subdivision have pitched roofs, and that the proposed roof design is not characteristic of the existing housing stock in this area.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request do appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC); however, staff has added a condition of approval that the applicant be required to meet the applicable setbacks for Planned Development District 8 (PD-8). The purpose of this condition of approval is to ensure that because the home proposes to deviate from the traditional zero-lot-line development scheme present on the lots to the north and south of the subject property, the proposed home will have side yard setbacks of ten (10) feet along the northern property line and five (5) feet along the southern property line. This is to ensure that a minimum of a ten (10) foot maintenance easement is provided for the property north of the subject property (*i.e. 309 Valliant Drive*).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Valiant Drive and the proposed building elevations in the attached packet. Staff is obligated to reiterate that the proposed home does not appear to be consistent in terms of architecture compared to the existing homes in the surrounding area; however, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On May 24, 2023, staff mailed 120 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water's Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista, and Chandler's Landing Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) email in opposition of the request, two (2) responses to our online Zoning and Specific Use Permit Input Form in opposition to the request, one (1) email from a property owner expressing concerns regarding the request. In addition, staff received one (1) notice in favor of the request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific

Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

- (2) The applicant will be required to meet all applicable building setbacks stipulated by Planned Development District 8 (PD-8) and the Unified Development Code (UDC).
- (3) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2023-024

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

311 Valiant Dr.

SUBDIVISION

Chandlers Landing

LOT

6

BLOCK

C

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD-8

CURRENT USE

Residential

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.1278

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Chris Curra

APPLICANT

Chris Curra

CONTACT PERSON

Chris Curra

CONTACT PERSON

Chris Curra

ADDRESS

2975 Blackburn St.  
#1321

ADDRESS

2975 Blackburn St.  
#1321

CITY, STATE & ZIP

Dallas TX 75204

CITY, STATE & ZIP

Dallas TX 75204

PHONE

512 785 3518

PHONE

512 785 3518

E-MAIL

chriscurra@gmail.com

E-MAIL

chriscurra@gmail.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Christopher Curra [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

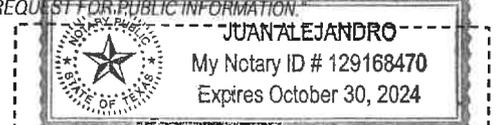
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10<sup>th</sup> DAY OF May, 2023.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES

Oct 30<sup>th</sup>, 2024

0 25 50 100 150 200 Feet

Z2023-024; Specific Use Permit for Residential Infill at 311 Valiant Drive



PD-8

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

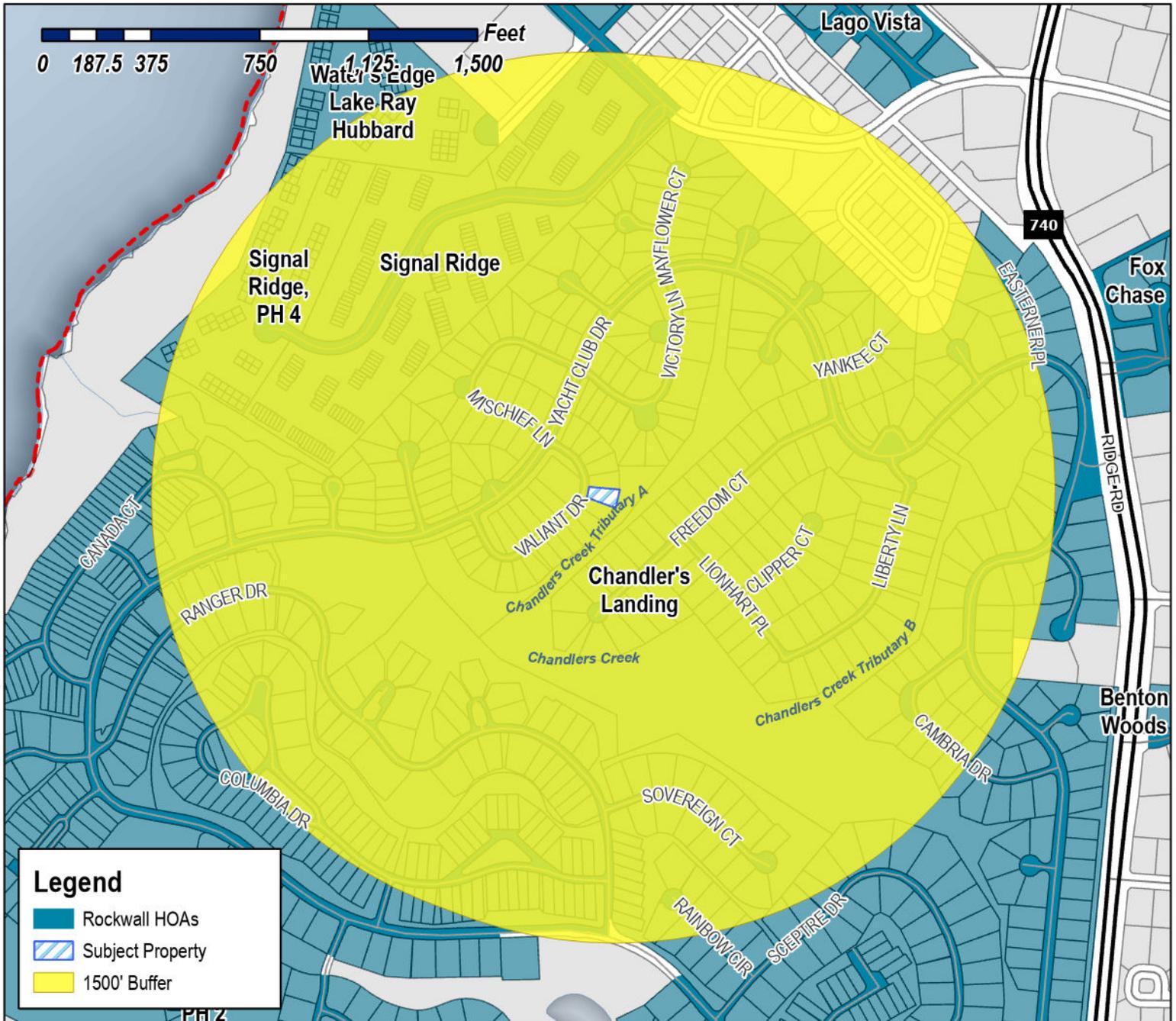




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**Case Number:** Z2023-024  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 311 Valiant Drive

**Date Saved:** 5/23/2023  
 For Questions on this Case Call (972) 771-7745



## Guevara, Angelica

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, May 23, 2023 3:20 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Program [Z2023-024]  
**Attachments:** Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-024: SUP for Residential Infill at 311 Valiant Drive**

Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

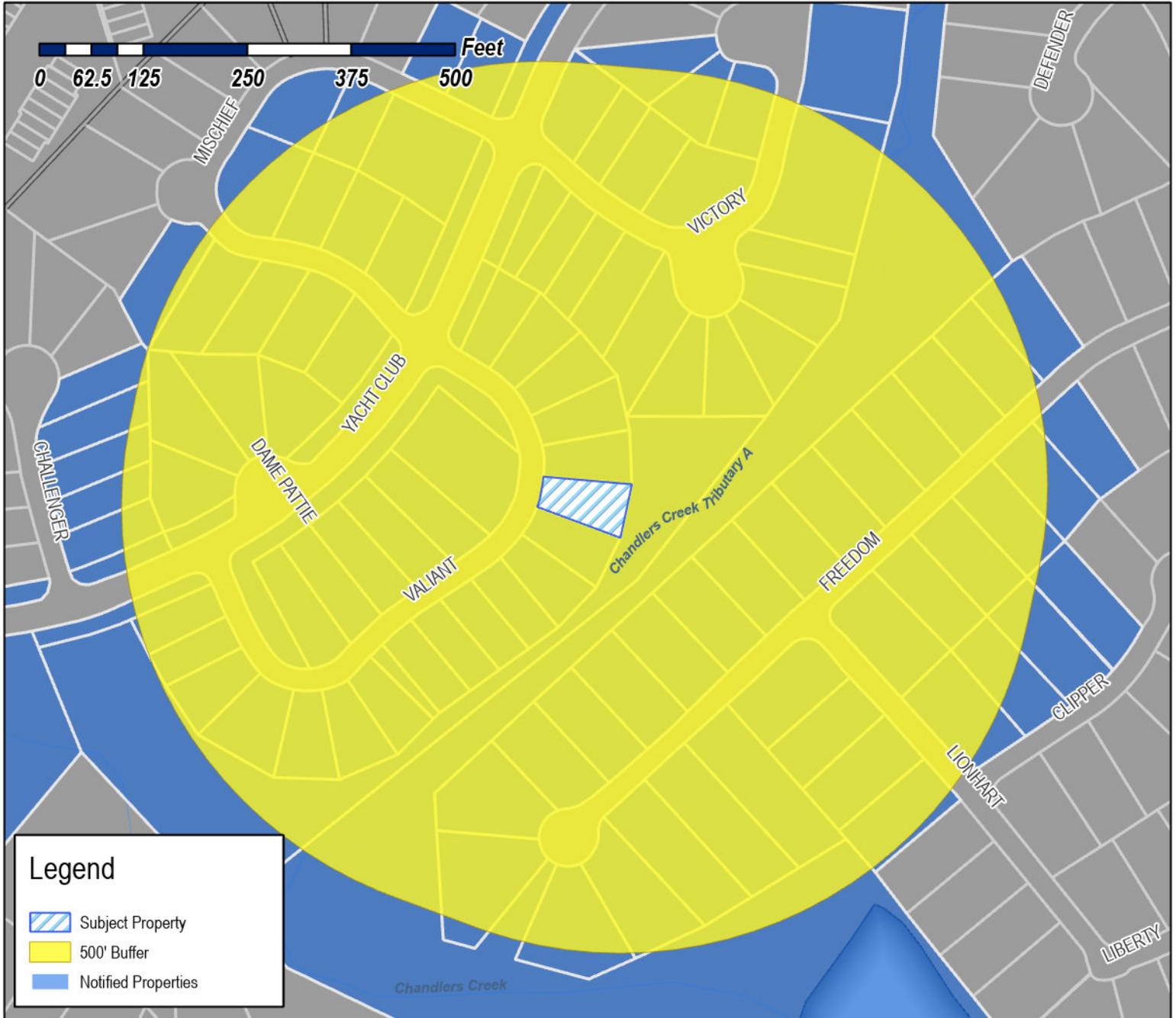
Thank You,  
Melanie Zavala  
Planning Coordinator  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-771-6568



# City of Rockwall

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**Legend**

-  Subject Property
-  500' Buffer
-  Notified Properties

**Case Number:** Z2023-024  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 311 Valiant Drive

**Date Saved:** 5/23/2023  
 For Questions on this Case Call: (972) 771-7746



GOODMAN CARLA  
101 DAME PATTIE DR  
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J  
102 DAME PATTIE DRIVE  
ROCKWALL, TX 75032

HALL CORI  
102 MISCHIEF LANE  
ROCKWALL, TX 75032

RESIDENT  
103 DAME PATTIE  
ROCKWALL, TX 75032

FAYAD HUSSAIN  
104 DAME PATTIE DRIVE  
ROCKWALL, TX 75032

CARR LORI  
104 MISCHIEF LN  
ROCKWALL, TX 75032

SPOKES JULIE  
105 CLIPPER COURT  
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES  
105 MISCHIEF LN  
ROCKWALL, TX 75032

HARTFIELD THOMAS E & EDITH E  
109 CLIPPER CT  
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE  
109 MISCHIEF LN  
ROCKWALL, TX 75032

RESIDENT  
113 CLIPPER CT  
ROCKWALL, TX 75032

YU DAVIS & HYUN SOOK  
115 FREEDOM CT  
ROCKWALL, TX 75032

ROGERS RYAN  
117 CLIPPER COURT  
ROCKWALL, TX 75032

CUMMINGS ATANIA ROLDAN AND ERIC JOSEPH  
118 FREEDOM COURT  
ROCKWALL, TX 75032

PUSTEJOVSKY MARK  
11875 CR 4026  
KEMP, TX 75143

JONES FELICIA M  
119 FREEDOM COURT  
ROCKWALL, TX 75032

HPA II TEXAS SUB 2019-1 LLC  
120 SOUTH RIVERSIDE PLAZA SUITE 2000  
CHICAGO, IL 60606

RESIDENT  
122 FREEDOM CT  
ROCKWALL, TX 75032

THOMAS ALAN AND DANA  
123 FREEDOM COURT  
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L  
124 MISCHIEF LANE  
ROCKWALL, TX 75032

RESIDENT  
125 MISCHIEF LN  
ROCKWALL, TX 75032

BOLES ALAN L & DANA M  
126 FREEDOM CT  
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE  
126 MISCHIEF LN  
ROCKWALL, TX 75087

SNIDER MICHAEL AND CASSANDRA  
127 FREEDOM CT  
ROCKWALL, TX 75032

MARTIN NAN YI  
127 MICHIEF LANE  
ROCKWALL, TX 75032

HALAMA STEVEN  
128 MISCHIEF LN  
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J  
129 MISCHIEF LANE  
ROCKWALL, TX 75032

BILLITER MARGARET AND ROGER  
130 FREEDOM CT  
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN  
130 MISCHIEF LANE  
ROCKWALL, TX 75032

WALTON ALLEN NICK & WANDA JEAN  
131 FREEDOM CT  
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D  
131 MISCHIEF LANE  
ROCKWALL, TX 75032

RESIDENT  
132 MISCHIEF LN  
ROCKWALL, TX 75032

COFFEE CHARLES C AND DEBRA P  
134 FREEDOM CT  
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON  
135 FREEDOM COURT  
ROCKWALL, TX 75032

ROGERS SHAWN A & BRENDA  
138 FREEDOM CT  
ROCKWALL, TX 75032

RESIDENT  
139 FREEDOM CT  
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE  
148 OXFORD DR  
HEATH, TX 75032

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

BAXTER ERIKA LEE GARDNER AND SCOTT  
201 FREEDON CT  
ROCKWALL, TX 75032

KOCUREK MICHELLE  
205 FREEDOM COURT  
ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B  
209 FREEDOM COURT  
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND  
SARAH MARIE GOOCH  
210 FREEDOM CT  
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D  
213 FREEDOM CT  
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA  
214 FREEDOM COURT  
ROCKWALL, TX 75032

NORRIS KIMBERLY S  
217 FREEDOM CT  
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET  
218 FREEDOM CT  
ROCKWALL, TX 75032

MCCASKILL KRISTOFER  
221 FREEDOM COURT  
ROCKWALL, TX 75032

AGNEW MICHAEL THOMAS AND KARLA KAY  
222 FREEDOM COURT  
ROCKWALL, TX 75032

DUNCAN FRANK T AND NORMA E  
224 LIONHART PLACE  
ROCKWALL, TX 75032

LUCIANO ANTHONY  
225 FREEDOM COURT  
ROCKWALL, TX 75032

BELL LINDA W  
226 FREEDOM CT  
ROCKWALL, TX 75032

HOLLIS CODY JONATHAN  
228 LIONHART PLACE  
ROCKWALL, TX 75032

TONICK MICHAEL D & JANET A  
229 FREEDOM CT  
ROCKWALL, TX 75032

NASH TERRY L & MARGARET SPEAR  
232 LIONHART PL  
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R  
236 LIONHART PL  
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC  
23975 PARK SORRENTO SUITE 300  
CALABASAS, CA 91302

ODOM LACEY AND JOSH  
2402 YACHT CLUB DR  
ROCKWALL, TX 75032

RESIDENT  
257 VICTORY LN  
ROCKWALL, TX 75032

RESIDENT  
264 VICTORY LN  
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN  
268 VICTORY LN  
ROCKWALL, TX 75032

FRANCISCO CAROLYN ELLISON  
272 VICTORY LN  
ROCKWALL, TX 75032

DEMARS GREGORY SCOTT AND  
CYNTHIA LEE FLOYD  
281 VICTORY LANE  
ROCKWALL, TX 75032

HALL JASON M & CORI M  
284 VICTORY LN  
ROCKWALL, TX 75032

BROWN TERRI LYNN  
285 VICTORY LN  
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L  
289 VICTORY LN  
ROCKWALL, TX 75032

JOHNSON DAVID  
291 VICTORY LN  
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE  
293 VICTORY LN  
ROCKWALL, TX 75032

RESIDENT  
295 VICTORY LN  
ROCKWALL, TX 75032

SEEDS DAVID R  
2961 S CHERRY WAY  
DENVER, CO 80222

LYNN JASON AND DANIELLE  
297 VICTORY LANE  
ROCKWALL, TX 75032

CURRA CHRISTOPHER  
2975 BLACKBURN ST APT 1019  
DALLAS, TX 75204

PERRY GEORGE DAVID & SANDRA SUE  
299 VICTORY LN  
ROCKWALL, TX 75032

RIVERA LUIS  
300 S WATTERS RD APT 127  
ALLEN, TX 75103

MIRFENDERESKI JONAH JAVAD AND  
NALINA MICHELLE SHAPIRO  
301 VALIANT DRIVE  
ROCKWALL, TX 75032

RESIDENT  
303 VALIANT DR  
ROCKWALL, TX 75032

HALL TABITHA AMY AND  
TERESA ADAMS  
305 VALIANT DR  
ROCKWALL, TX 75032

RESIDENT  
306 VICTORY LN  
ROCKWALL, TX 75032

SANFORD TIMOTHY & KELLEE  
307 VALIANT DRIVE  
ROCKWALL, TX 75032

MCNAIR KELLY  
307 VICTORY LN  
ROCKWALL, TX 75032

RESIDENT  
309 VALIANT DR  
ROCKWALL, TX 75032

RESIDENT  
310 VICTORY LN  
ROCKWALL, TX 75032

RESIDENT  
311 VALIANT DR  
ROCKWALL, TX 75032

LOVELESS JERRY L & TOMMIE H  
313 VALIANT DR  
ROCKWALL, TX 75032

SMITH JOSHUA AND  
MAEGAN HOLLOWAY  
314 VALIANT DR  
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY  
314 VICTORY LN  
ROCKWALL, TX 75032

JOHNSTON CAROLINE  
315 VALIANT DR  
ROCKWALL, TX 75032

LOREDO SARAHI  
315 VICTORY LN  
ROCKWALL, TX 75032

RESIDENT  
317 VALIANT DR  
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA  
318 VALIANT DRIVE  
ROCKWALL, TX 75032

COPPLER GERALD  
319 VALIANT DR  
ROCKWALL, TX 75032

HANSEN JOSH AND  
RACHEL THORNQUIST  
320 VALIANT DRIVE  
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCHIN  
321 VALIANT DR  
ROCKWALL, TX 75032

CONDIT TINA  
322 VALIANT DRIVE  
ROCKWALL, TX 75032

OWENS MICHAEL V  
323 VALIANT DR  
ROCKWALL, TX 75032

RESIDENT  
324 VALIANT DR  
ROCKWALL, TX 75032

ROGERS JACY MARIE AND FRANK MARION  
325 VALIANT DRIVE  
ROCKWALL, TX 75032

RESIDENT  
326 VALIANT DR  
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN  
327 VALIANT DR  
ROCKWALL, TX 75032

IMBURGIA JAMES  
329 VALIANT DR  
ROCKWALL, TX 75032

STORY BRIAN K AND LANA K  
331 VALIANT DRIVE  
ROCKWALL, TX 75032

LE TAN T AND VIRGINIA I  
333 VALIANT DR  
ROCKWALL, TX 75032

DANIEL SANDRA SUE  
335 VALIANT DR  
ROCKWALL, TX 75032

RESIDENT  
337 VALIANT DR  
ROCKWALL, TX 75032

SMITH THOMAS M  
443 CHIPPENDALE DR  
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER  
4501 YACHT CLUB DRIVE  
ROCKWALL, TX 75032

HARMON H VICTOR  
519 E INTERSTATE 30 PMB 212  
ROCKWALL, TX 75087

ROSHAN KC  
5335 BROADWAY BLVD #210  
GARLAND, TX 75043

MARSHALL SAMUEL AND DIANA  
5502 CHALLENGER CT  
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA  
5504 CHALLENGER CT  
ROCKWALL, TX 75032

RESIDENT  
5506 CHALLENGER CT  
ROCKWALL, TX 75032

NORTON ANGELA  
5508 CHALLENGER CT  
ROCKWALL, TX 75032

BRADSHAW ADRIAN  
5510 CHALLENGER COURT  
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B  
5710 SOUTHERN CROSS DR  
ROCKWALL, TX 75032

HENDRICKS LORI L  
5903 VOLUNTEER PL  
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST  
634 COURAGEOUS DR  
ROCKWALL, TX 75032

THOMAS VELIA  
7317 LOUGHEED PLZ  
PLANO, TX 75025

MCMINN KIMBERLY  
PMB 239 11654 PLAZA AMERICA DR  
RESTON, VA 20190

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC  
PO BOX 638  
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC  
PO BOX 638  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-024: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-024: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar]  
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**From:** [Bruce Robison](#)  
**To:** [Planning](#)  
**Subject:** Z2023-024 SUP for Residential Infill  
**Date:** Monday, May 29, 2023 11:32:10 AM

---

My name is Bruce Robison and I live at [REDACTED]

I am opposed to the request. This area is densely populated and to wedge another home in the crowded neighborhood would just make the area more congested.

Regards  
Bruce

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

Case No. Z2023-024: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name:

Jan Moltzan

Address:

[Redacted address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-024  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 311 Valiant Drive



**Date Saved:** 5/23/2023

For Questions on this Case Call: (972) 771-7746

# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
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Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-024: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

SENT: JUNE 1, 2023

We have included a letter of two concerns!

Please CONTACT US Home: [Redacted]  
DR Jerry & Tommie household Cell: [Redacted]

Name:  
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Building plans of Property at 311 Valiant Dr.**

1 message

Tommie Loveless &lt;[REDACTED]&gt;

Thu, Jun 1, 2023 at 12:41 PM

To: Jerry Loveless ICE &lt;[REDACTED]&gt;

ATTENTION: Ryan Miller and Angelica Guevara  
June 1st 2023-Case #22023-024

This request is made by Jerry and Tommie Loveless.

We have lived in Chandler's Landing, at [REDACTED] for 24 years. We love and appreciate Chandler's and certainly welcome new neighbors. However, when we realized the possibility of plans to build a house at 311 Valiant, we felt sharing our two main concerns is a must.

1.) There are two VERY large trees, over a 100 feet tall, which are located about 10 feet from our foundation. The roots of these trees are under the foundation of our home and probably extend out to the 311 lot. Through the years, when prospective buyers were interested in building on this property, different surveyors were sent to measure size, elevation and determine considerations involved in building.

Each time we were told that due to the size and location of the two trees by our property, the roots would crack the foundation of our home, if the trees were compromised by the building activities! It was also stated that it would be impossible to pull up these trees and cutting them down would be hazardous to both properties. (A portion if these trees are on our property).

2). Another grave concern is drainage problems.

During rains, water drains from the beginning of the top of our street, down to our property (313 Valiant) into a drainage that crosses the entire length of our driveway; it then drains under the front and side of our property.

Any excess water continues draining underground through a PVC to the back portion of 311 property where it drains into the Chandler's creek.

The concern is:

If this pipe is covered or damaged, our property (and street) will experience flooding.

(Because of these and other considerations, this lot has never been built upon.)

PLEASE SCHEDULE A TIME WHEN AN ENGINEER FROM THE ROCKWALL CITY WATER DEPARTMENT CAN COME TO OBSERVE AND HELP US CONCERNING THESE AREAS OF CONCERN.

THANKS SO MUCH FOR YOUR CONSIDERATION  
WITH THIS IMPORTANT SITUATION.

Dr. Jerry and Tommie Loveless

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

Sent from my iPad

*Sorry for the "small font!"  
It would not print larger!  
We also sent this by email to you  
TO: Planning@Rockwall.com  
Also plan to attend the meetings  
Thanks Again*

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023 024

Please place a check mark on the appropriate line below: \*

I am in favor of the request

I am in opposition to the request

Please provide any additional information concerning your support or opposition to the request

## Respondent Information

Please provide your information.

## First Name \*

Jonah

Last Name \*

Mirfendereski

Address \*

[Redacted]

City \*

[Redacted]

State \*

[Redacted]

Zip Code \*

[Redacted]

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: \_\_\_\_\_

This content is neither created nor endorsed by Google.

Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

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Z2023 024

Please place a check mark on the appropriate line below: \*

I am in favor of the request

I am in opposition to the request

Please provide any additional information concerning your support or opposition to the request

## Respondent Information

Please provide your information.

## First Name \*

Nalina

Last Name \*

Shapiro

Address \*

[Redacted]

City \*

[Redacted]

State \*

[Redacted]

Zip Code \*

[Redacted]

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other \_\_\_\_\_

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I read about the request on the City's website.

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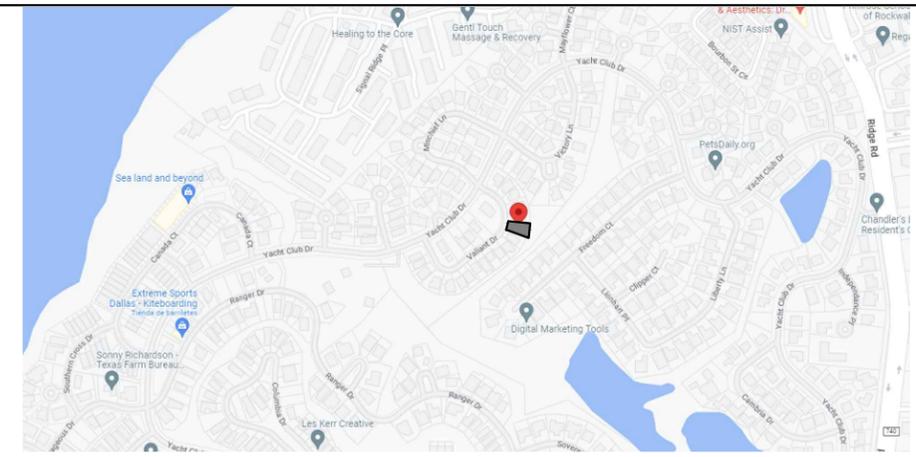
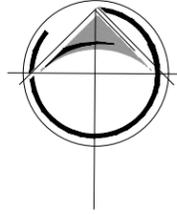
My neighbors told me about the request.

Other: \_\_\_\_\_

This content is neither created nor endorsed by Google.

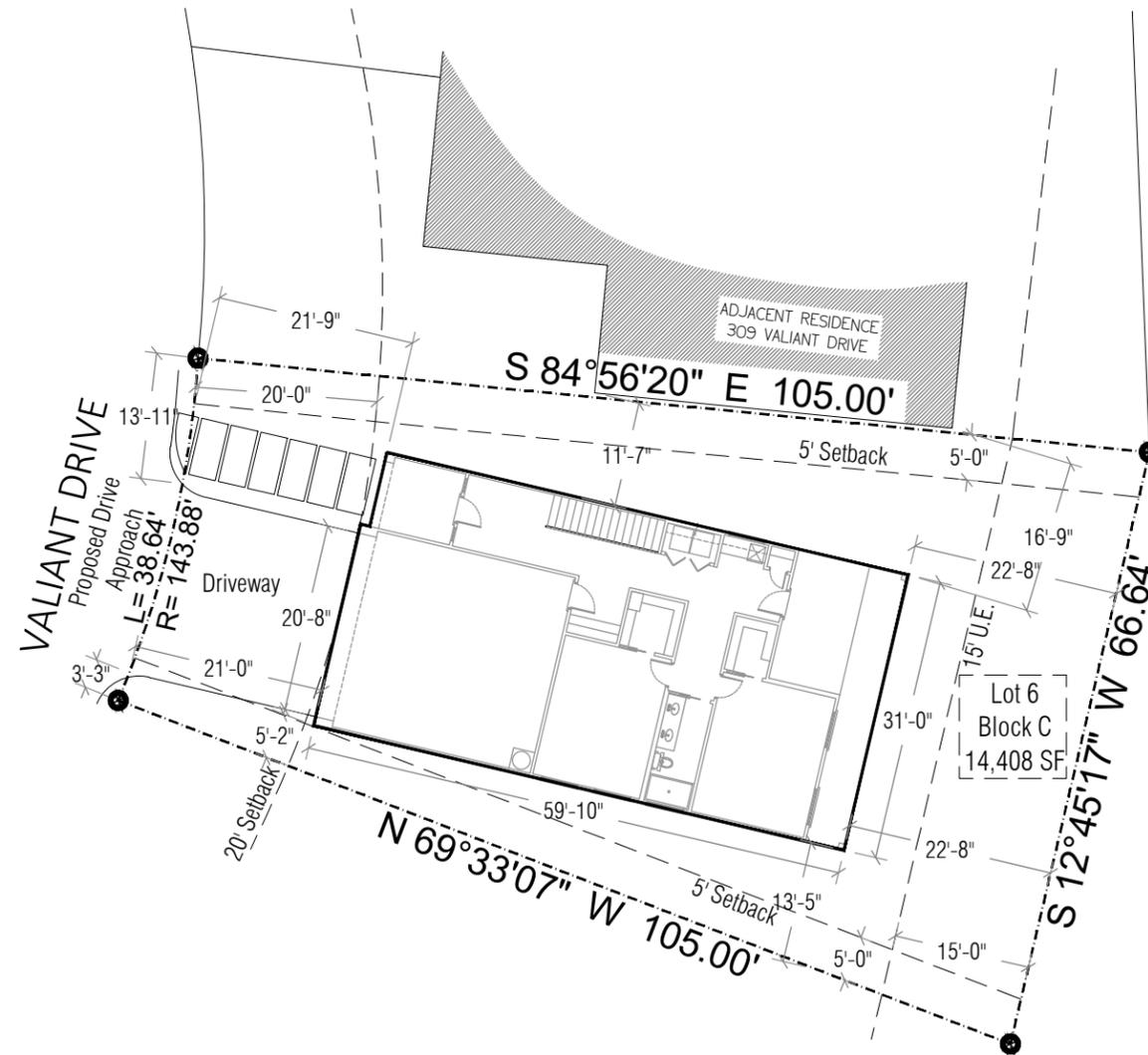
Google Forms

NORTH



VICINITY MAP  
FOR REFERENCE ONLY

LEGAL DESCRIPTION:  
CHANDLERS LANDING #16 &  
REPLAT, BLOCK C, LOT 6  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



**SITE PLAN**  
SCALE: 1'-0" = 20'-00" 1

SITE PLAN INFORMATION	
LOT SIZE	5,431 SQFT
TOTAL BUILDING AREA	3,188 SQFT
PERCENT LOT COVERED	22 %

SQUARE FOOTAGE BREAKDOWN	
PROPOSED LIVING AREA 1ST FLOOR	923 SQFT
PROPOSED LIVING AREA 2ND FLOOR	1,416 SQFT
TOTAL LIVING AREA	2,339 SQFT
PROPOSED BALCONY	217 SQFT
PROPOSED GARAGE	484 SQFT
PROPOSED PORCH/ENTRY	61 SQFT
PROPOSED REAR PORCH	116 SQFT
TOTAL UNDERROOF	3,283 QFT

311 VALIANT DR,  
ROCKWALL, TX 75032

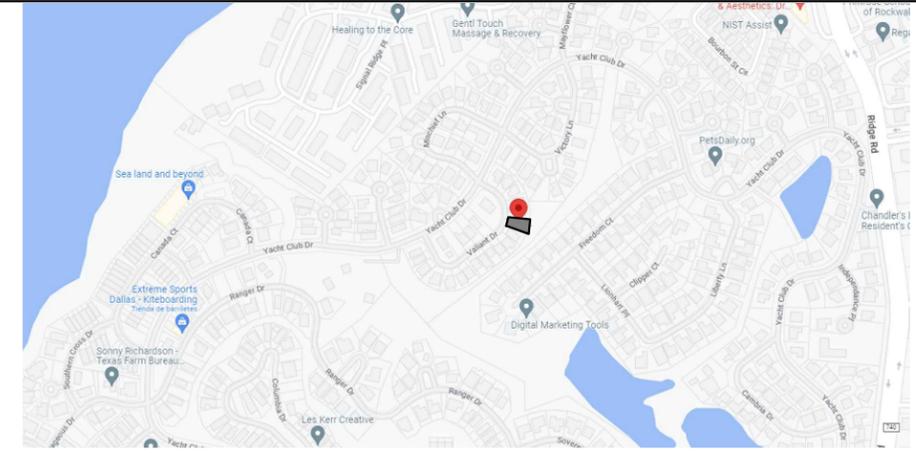
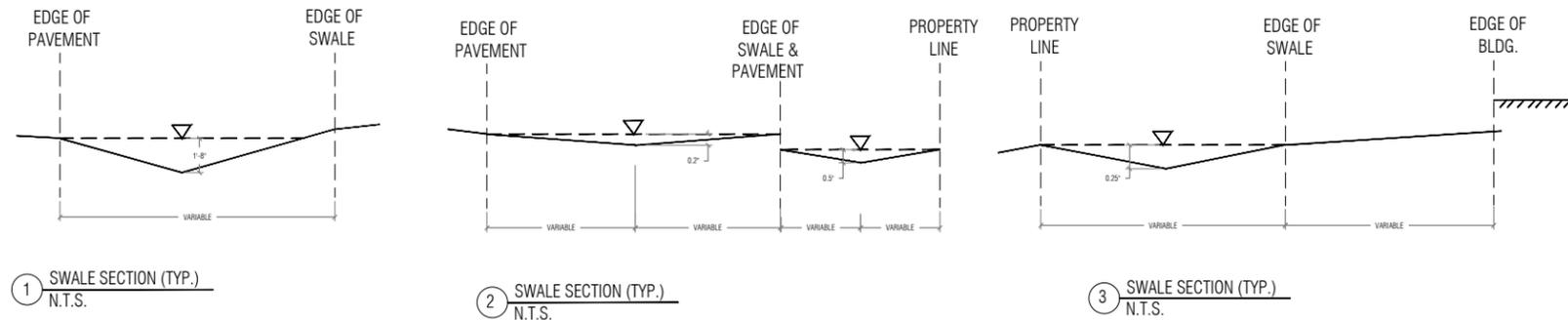
PAGE TITLE: SITE PLAN

SCALE: 1'-0" = 20'-00"

DATE: 4/13/2023

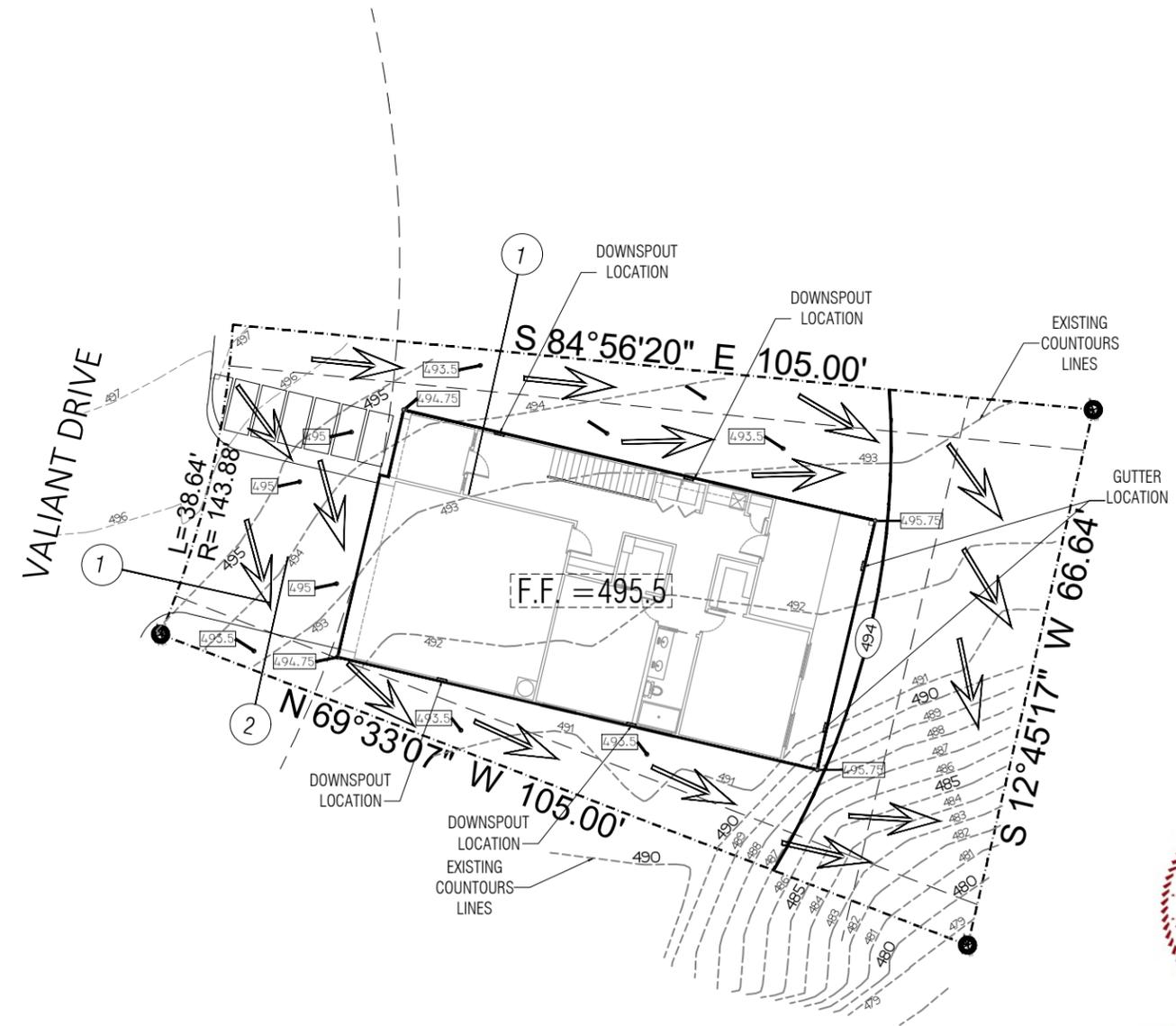
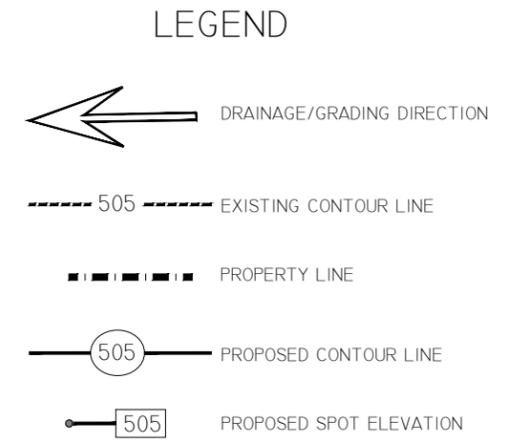
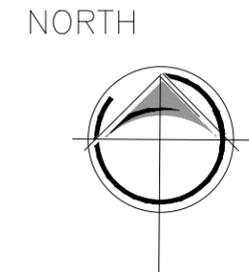
PAGE: 1

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, OR DEFICIENCIES IN ANY KIND, NOTE: THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE SITE AND THE INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF ANY KIND, NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF ANY KIND, NOTE: GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



VICINITY MAP  
FOR REFERENCE ONLY

LEGAL DESCRIPTION:  
CHANDLERS LANDING #16 &  
REPLAT, BLOCK C, LOT 6  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



- GENERAL DRAINAGE NOTES
- GRADING AND DRAINAGE SHALL NOT ADVERSELY IMPACT SURROUNDING PROPERTIES.
  - LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, THE FINAL GRADE SHALL SLOPE AWAY FROM THE FOUNDATION AT MINIMUM SLOPE OF 5 PERCENT AND THE WATER SHALL BE DIRECTED TO DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE THE STRUCTURE. SWALES SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHEN LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BULDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BULDING.
  - ALL DRAINAGE SWALES SHALL BE LOCATED ENTIRELY ON THIS LOT.

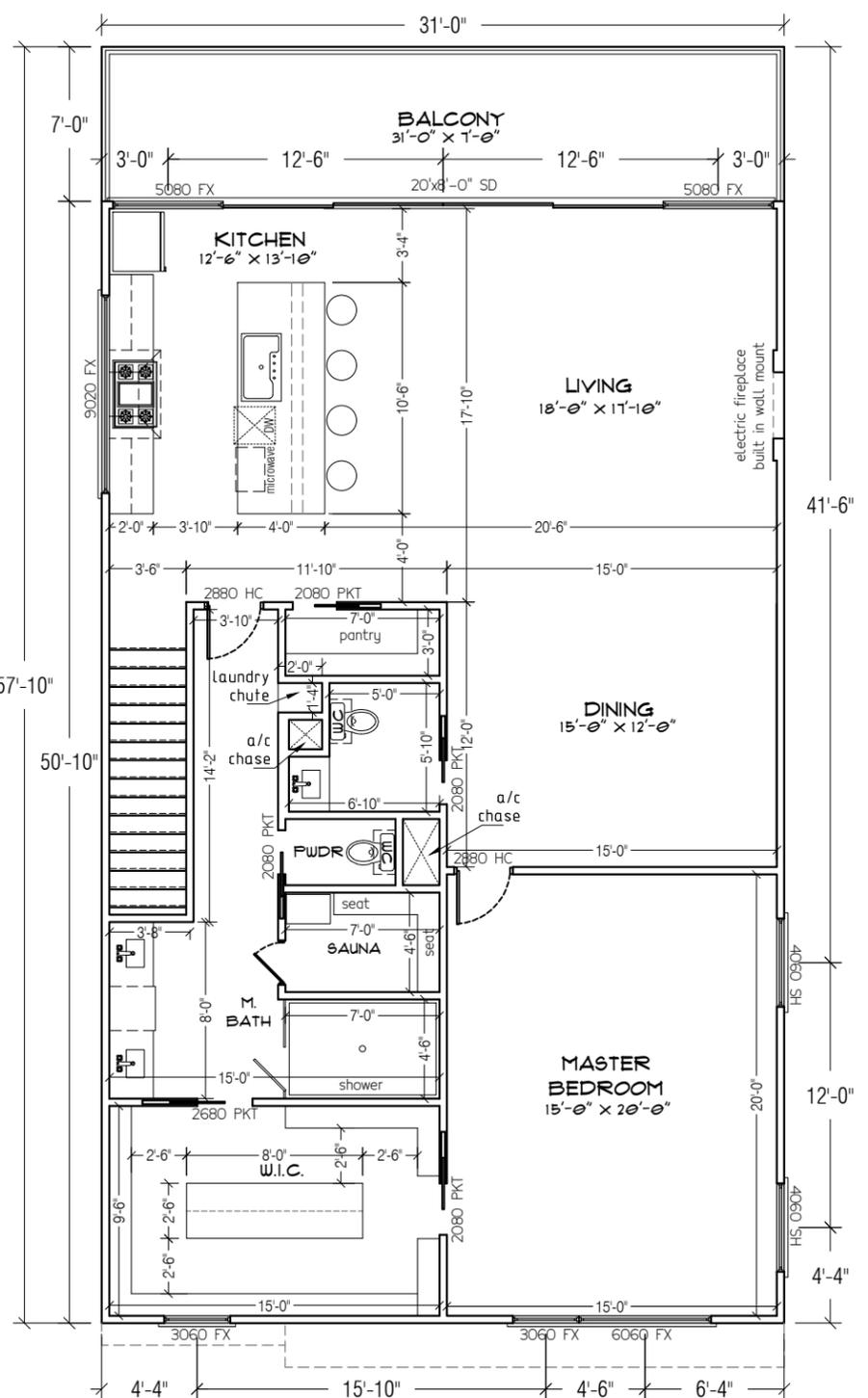
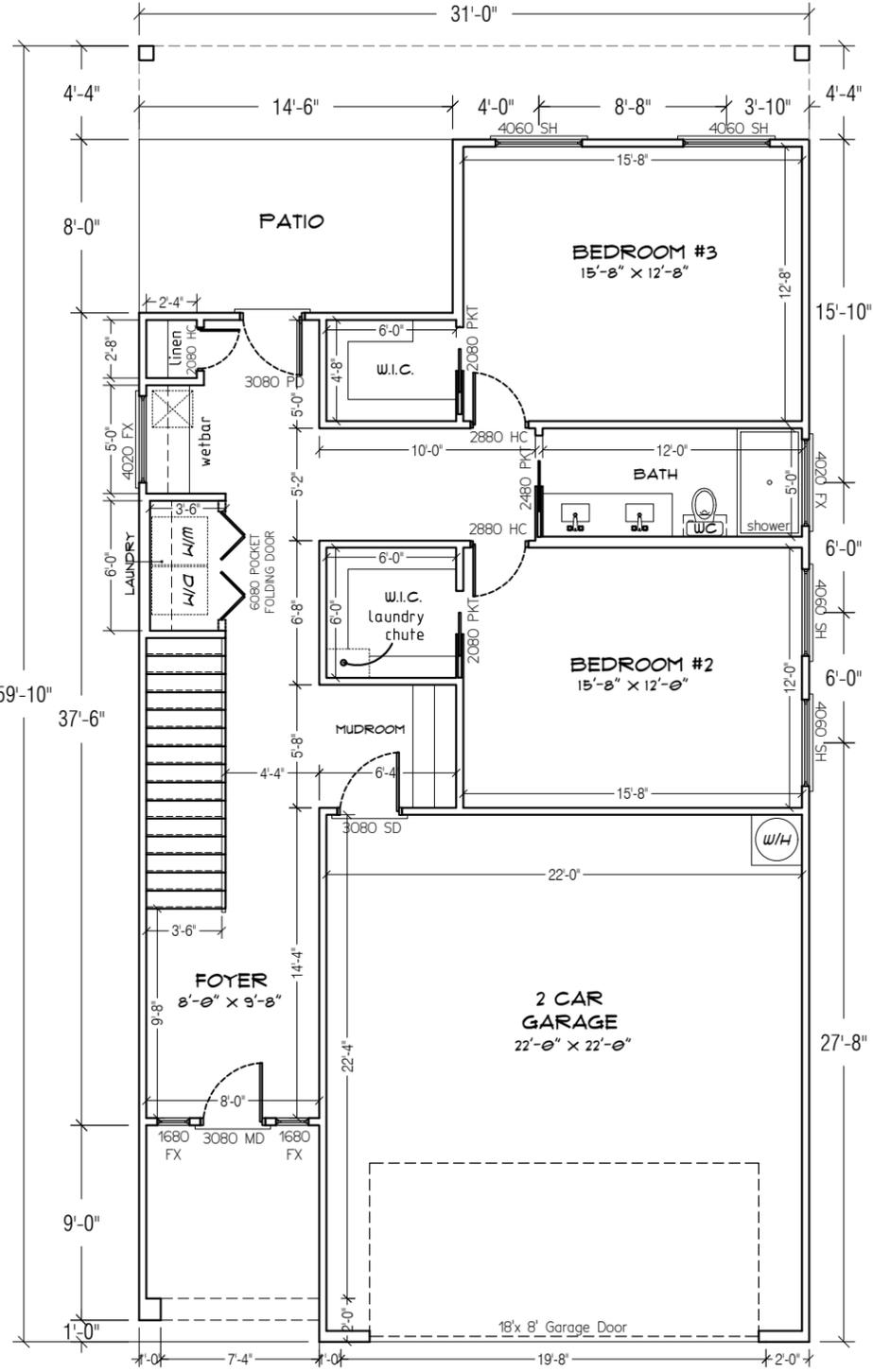
STATE OF TEXAS  
XAVIER CHAPA  
42335  
LICENSED ENGINEER  
Xavier Chapa  
Xavier Chapa Engineering/Surveying  
Firm Number F-9156  
04/13/2023

DRAINAGE/GRADING PLAN 1.2  
SCALE: 1"=0" = 20'-00"

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING A COPY OF ANY KING, NOTE, ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER, WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY CHANGES, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

PAGE TITLE: DRAINAGE/GRADING PLAN  
SCALE: 1"=0" = 20'-00"  
DATE: 4/13/2023  
PAGE: 1.2

311 VALIANT DR,  
ROCKWALL, TX 75032



KEY	
KEY	DESCRIPTION
SH	SINGLE HUNG WINDOW
HC	HOLLOW CORE DOOR
SC	SOLID CORE DOOR
SD	SLIDING DOOR
FX	FIXED WINDOW
BID	BI-FOLD DOOR

SQUARE FOOTAGE BREAKDOWN	
PROPOSED LIVING AREA 1ST FLOOR	923 SQFT
PROPOSED LIVING AREA 2ND FLOOR	1,416 SQFT
<b>TOTAL LIVING AREA</b>	<b>2,339 SQFT</b>
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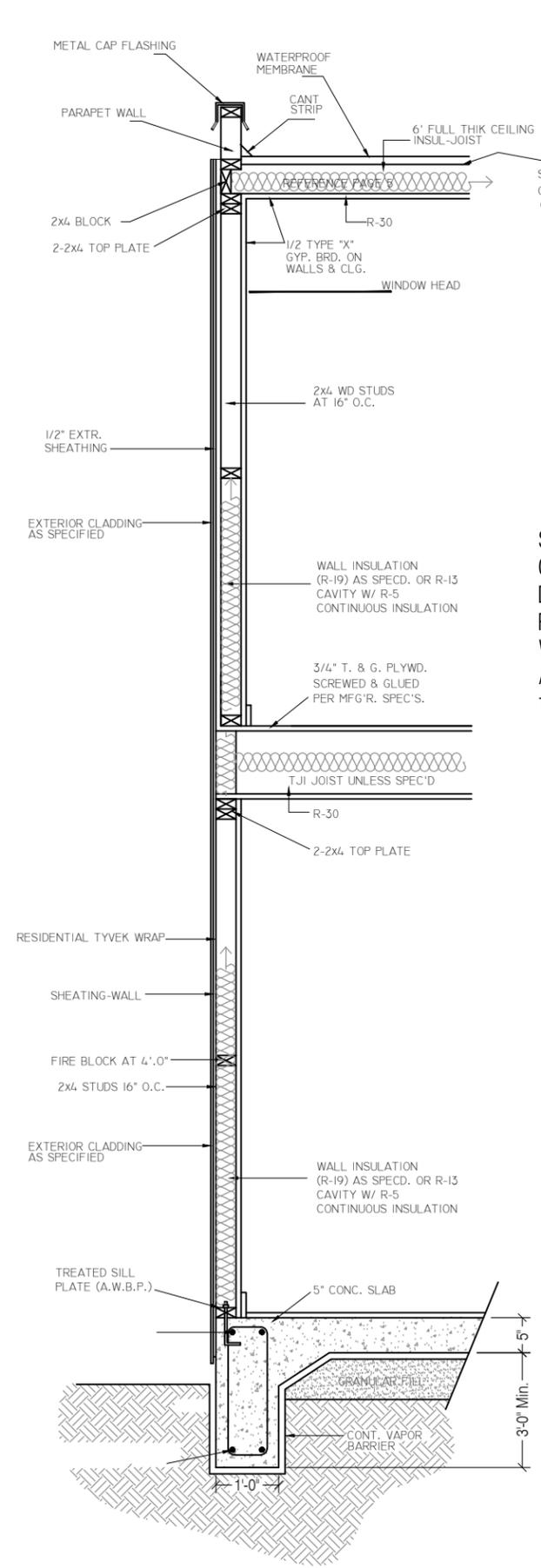
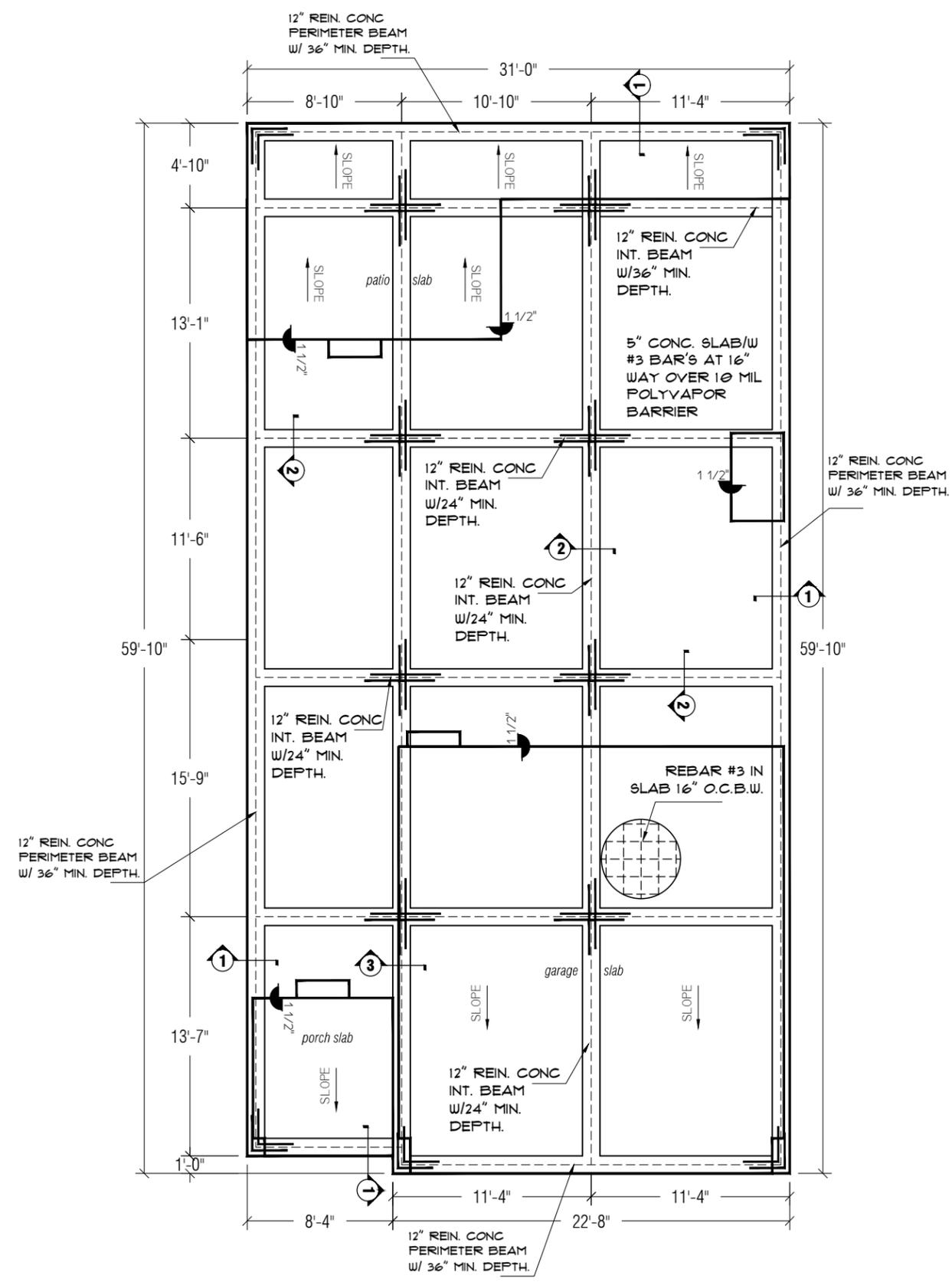
**FLOOR PLAN**  
SCALE: 1/8"=1'-0"

2

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, OWNER AND ALL CONTRACTORS PRIOR TO BEGINNING CONSTRUCTION. THE BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, LOCAL BUILDING CODES, AND LOCAL BUILDING DEPARTMENTS, THE BUILDER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,  
ROCKWALL, TX 75082

PAGE TITLE: FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
DATE: 4/13/2023  
PAGE: 2



**(A) WALL SECTION - STUCCO-CLADDING/SLAB/TWO STORY**  
not to scale

SLAB THICKNESS T=5"  
GRADE BEAMS:  
DEPTH H=24"  
PERIMETRAL  
WIDTH B=12"  
ALL BEAMS MUST BE FOUNDED IN  
12" MINIMUM OF UNDISTURBED SOIL  
VERIFY ALL DIMENSIONS WITH  
ARCHITECT'S PLANS PRIOR TO  
CONSTRUCTION.

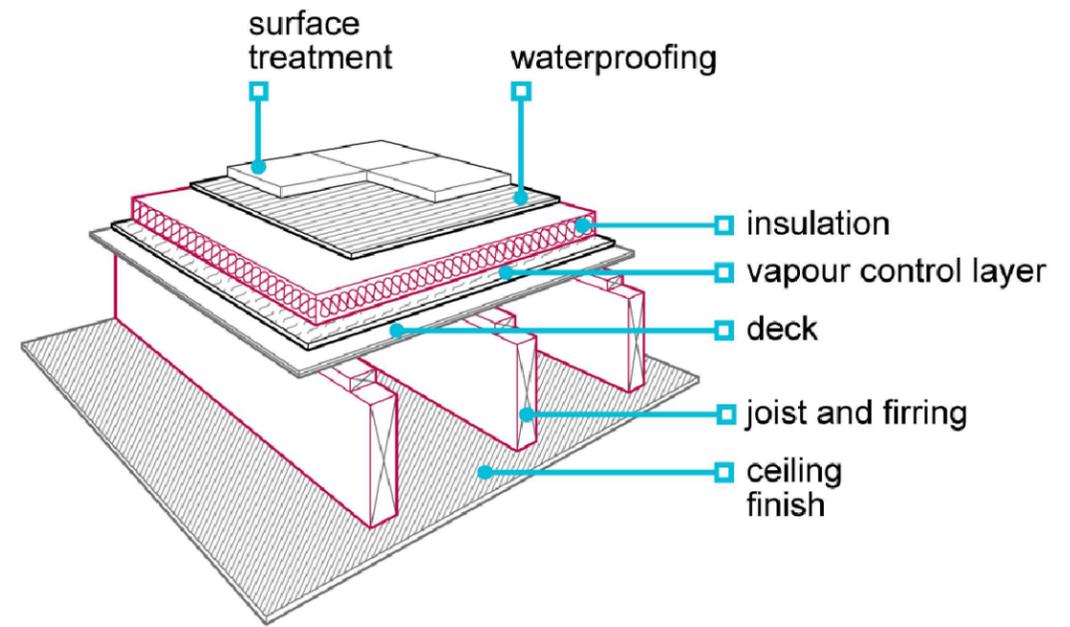
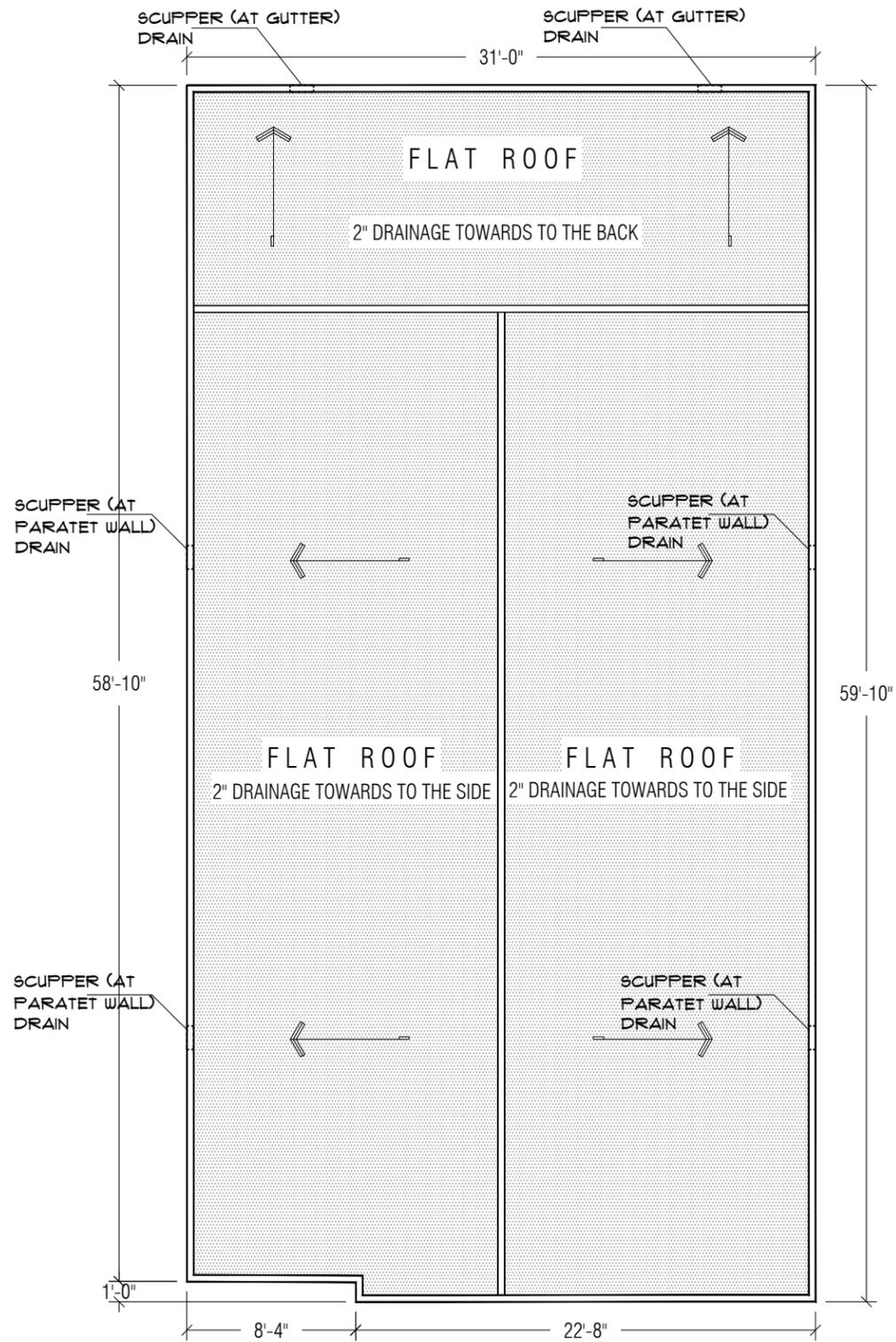


*Xavier Chapa*  
Xavier Chapa Engineering/Surveying  
Firm Number F-9156

04/13/2023

311 VALIANT DR, ROCKWALL, TX 75082	
PAGE TITLE:	FOUNDATION PLAN
SCALE:	1/8" = 1'-0"
DATE:	4/13/2023
PAGE:	3

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falls can be created by firrings or tapered insulation

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ROCKWALL, TX 75082



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Xavier Chapa Engineering/Surveying  
Firm Number F-9156

04/13/2023

ROOF PLAN  
SCALE: 1/8"=1'-0"

5

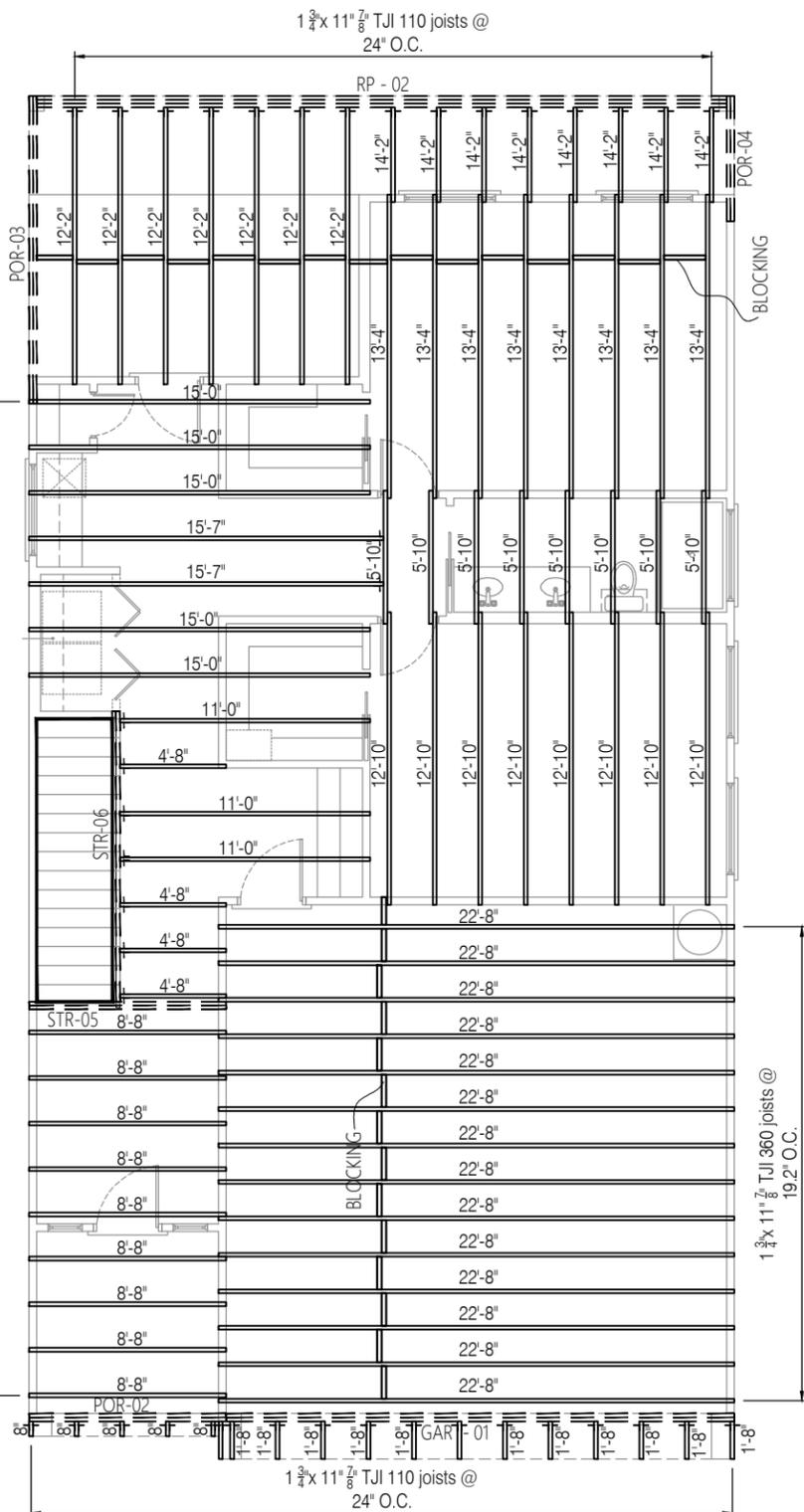
PAGE TITLE: ROOF & FRAMING PLAN

SCALE: 1/8"=1'-0"

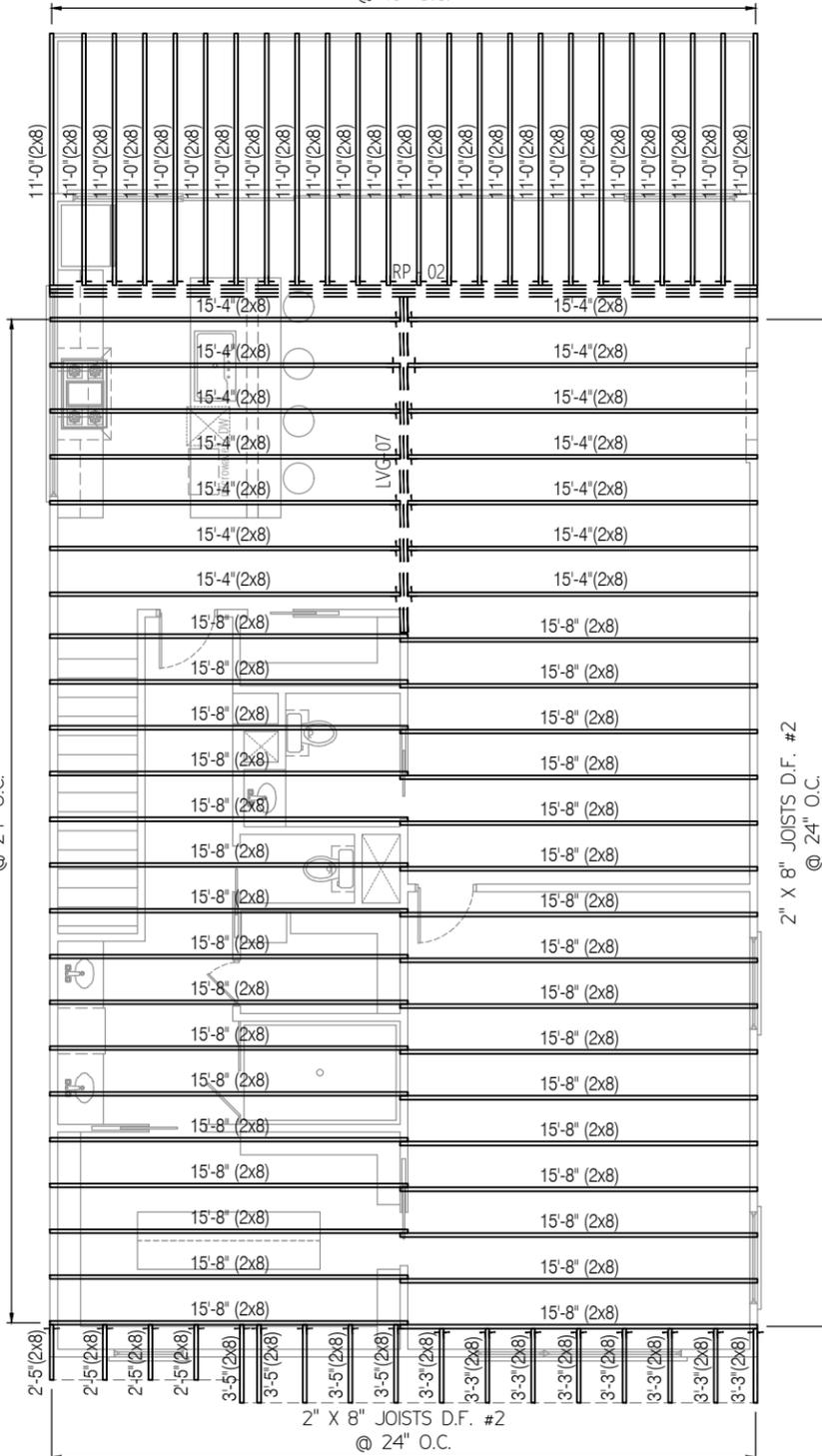
DATE: 4/13/2023

PAGE: 5

1 3/4" x 11 7/8" TJI 110 joists @ 24" O.C.



2" X 8" JOISTS D.F. #2 @ 16" O.C.



2" X 8" JOISTS D.F. #2 @ 24" O.C.

2" X 8" JOISTS D.F. #2 @ 24" O.C.

**LVL VERSA-LAM 2.1E 3100 BEAM**

1 3/4" x 14"

Label	Description	Width	Depth	Qty	Plies	Pcs	Length
GAR-01	LVL VERSA-LAM 2.1E 3100			1	2		22'-4"
POR-02	LVL VERSA-LAM 2.1E 3100			1	2		8'-8"
POR-02	LVL VERSA-LAM 2.1E 3100			1	2		13'-6"
POR-04	LVL VERSA-LAM 2.1E 3100			1	2		5'-6"
SRT-05	LVL VERSA-LAM 2.1E 3100			1	2		8'-8"
SRT-06	LVL VERSA-LAM 2.1E 3100			1	2		12'-9"
LVG-07	LVL VERSA-LAM 2.1E 3100			1	2		14'-8"

**LVL VERSA-LAM 2.1E 3100 BEAM**

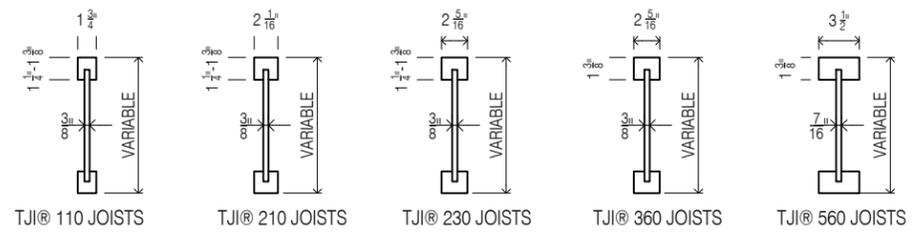
Triple Ply 1 3/4" or 5 1/4" x 24"

Label	Description	Width	Depth	Qty	Plies	Pcs	Length
RP-01	LVL VERSA-LAM 2.1E 3100			1	3		30'-4"
RP-02	LVL VERSA-LAM 2.1E 3100			1	3		31'-0"



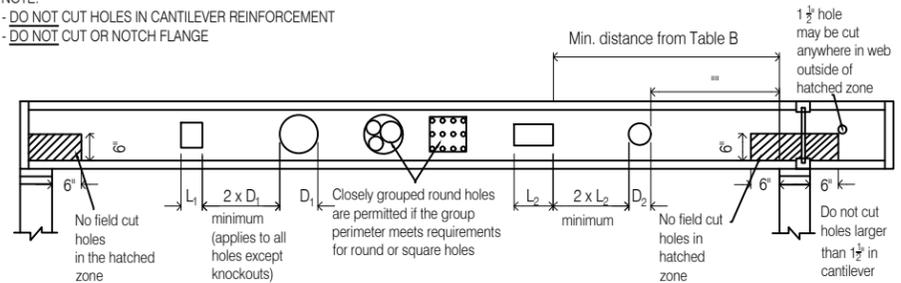
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 Firm Number F-9156  
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**TJI® JOISTS DIMENSIONS**

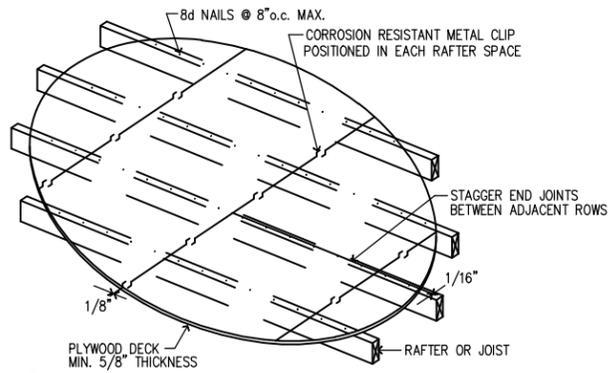


**ALLOWABLE HOLES - TJI® JOISTS**

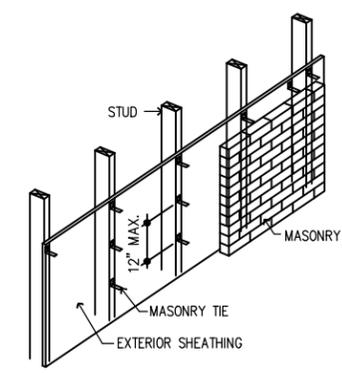
- NOTE:
- DO NOT CUT HOLES IN CANTILEVER REINFORCEMENT
- DO NOT CUT OR NOTCH FLANGE



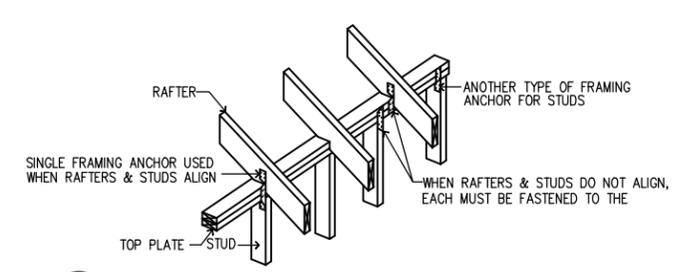
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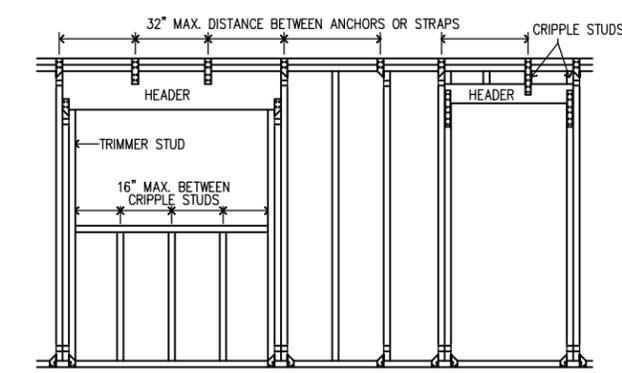
1 SOLID PLYWOOD SHEATHING



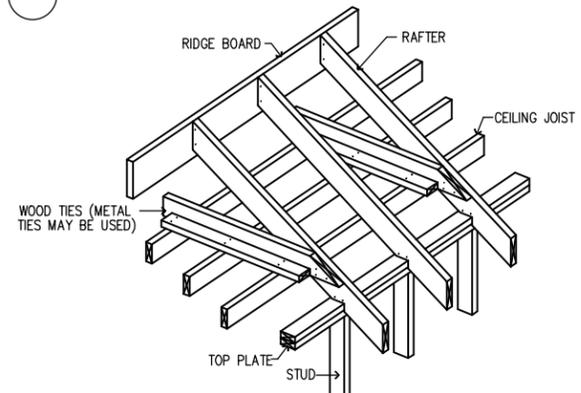
13 ANCHORING MASONRY VENEER TO WALL FRAMING



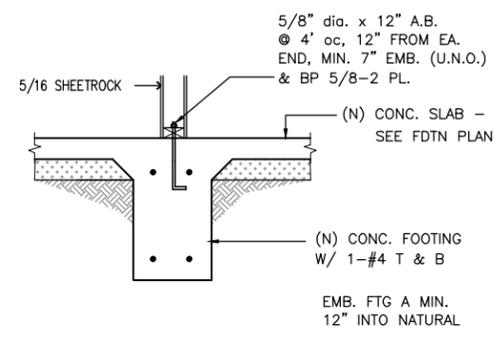
3 FASTENING RAFTERS TO THE WALL FRAMING



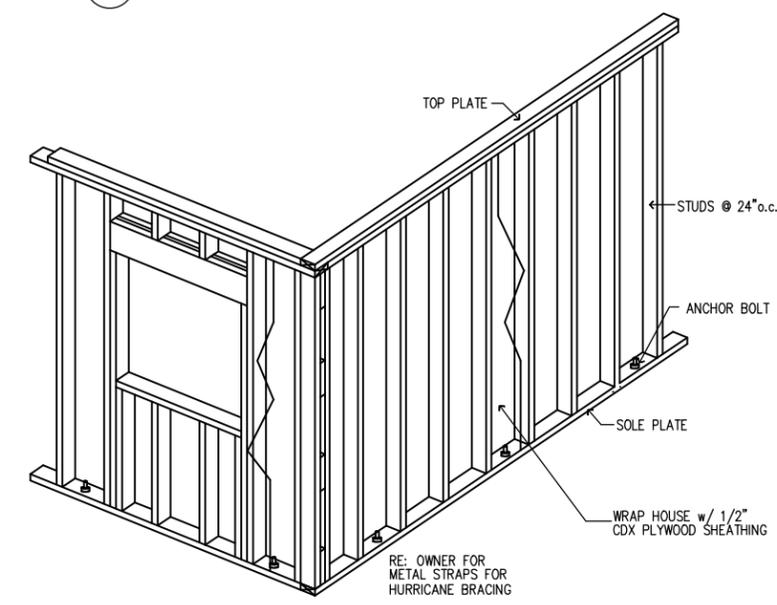
14 ANCHORAGE OF HEADERS



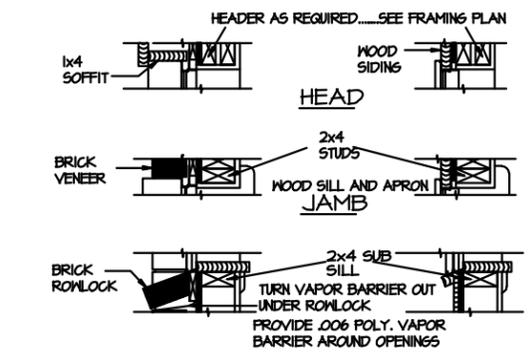
4 SECURING RAFTERS TO PERPENDICULAR JOISTS BELOW



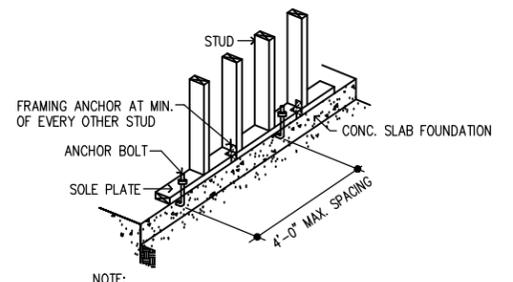
16 INTERIOR WALL TO FOUNDATION BEAM ANCHORAGE



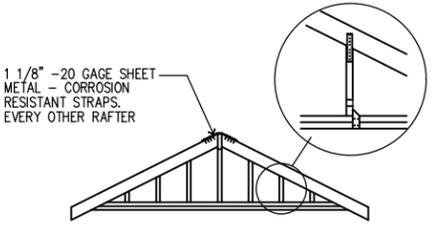
6 LATERAL BRACING OF EXTERIOR WALLS



19 SILL CONSTRUCTION DETAILS

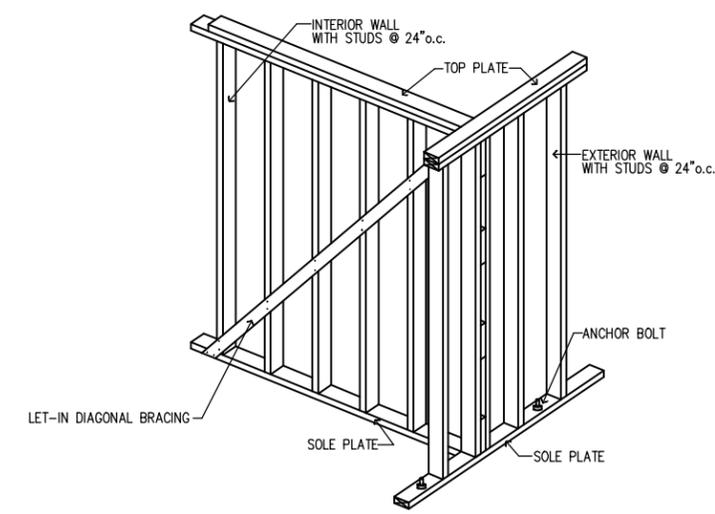


12 ANCHOR SILL PLATE TO FOUNDATION

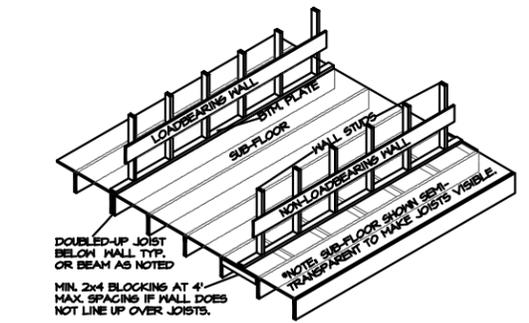


15 CONNECTING GABLE STUDS TO RAFTER AND TOP PLATE

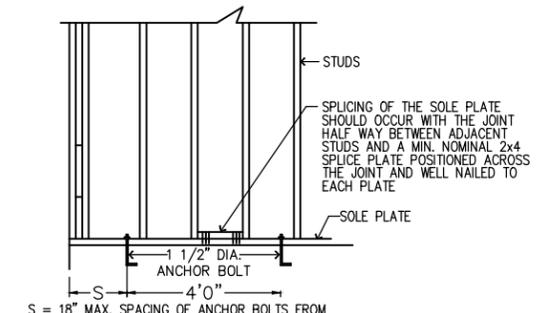
NOTE:  
1 1/8" -20 GAGE SHEET METAL - CORROSION RESISTANT STRAPS, TYPICAL TO ALL STRAPS



11 LATERAL BRACING OF INTERIOR WALL AT INTERSECTION WITH AN EXTERIOR WALL



20 INTERIOR WALLS CONSTRUCTION (NON LOAD-BEARING)



8 SPlicing OF SILLS OR SOLE PLATES

S = 18" MAX. SPACING OF ANCHOR BOLTS FROM THE ENDS OF DISCONTINUOUS SILLS OR SOLE PLATES

THIS DETAIL SHEET IS MEANT TO OFFER ONE METHOD TO COMPLY WITH THE BUILDING CODE REQUIREMENTS OF THE T.C.P.I.A. AND, THUS, MAKE THE STRUCTURE ELIGIBLE TO OBTAIN WINDSTORM INSURANCE FROM THE T.C.P.I.A. THE BUILDER MUST OBTAIN A "BUILDING GUIDELINES MANUAL" FROM THE T.C.P.I.A. AND COMPLY WITH IT.

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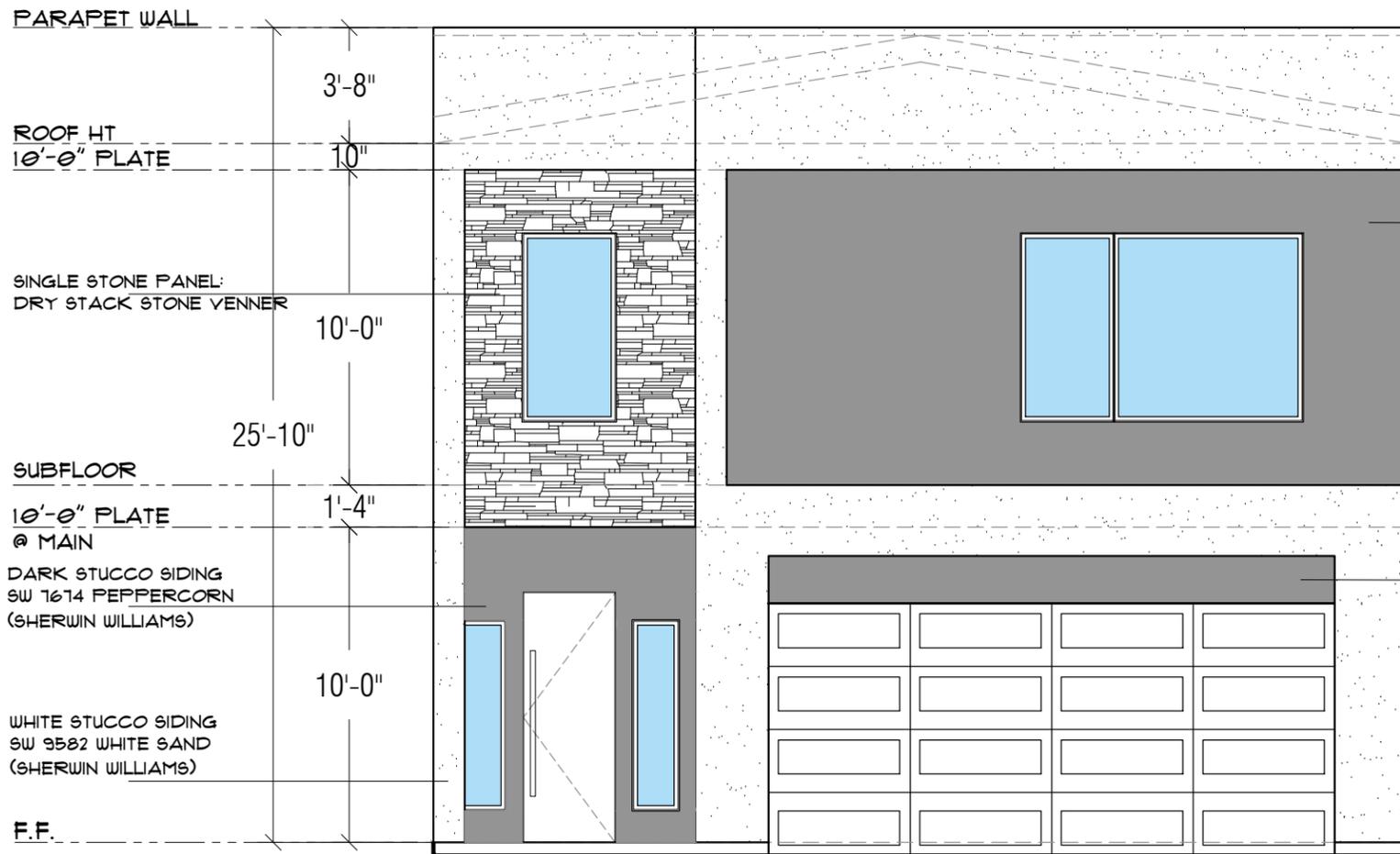
04/13/2023

PAGE TITLE: GENERAL CONSTRUCTION DETAILS

SCALE: N.T.S

DATE: 4/13/2023

PAGE: 6



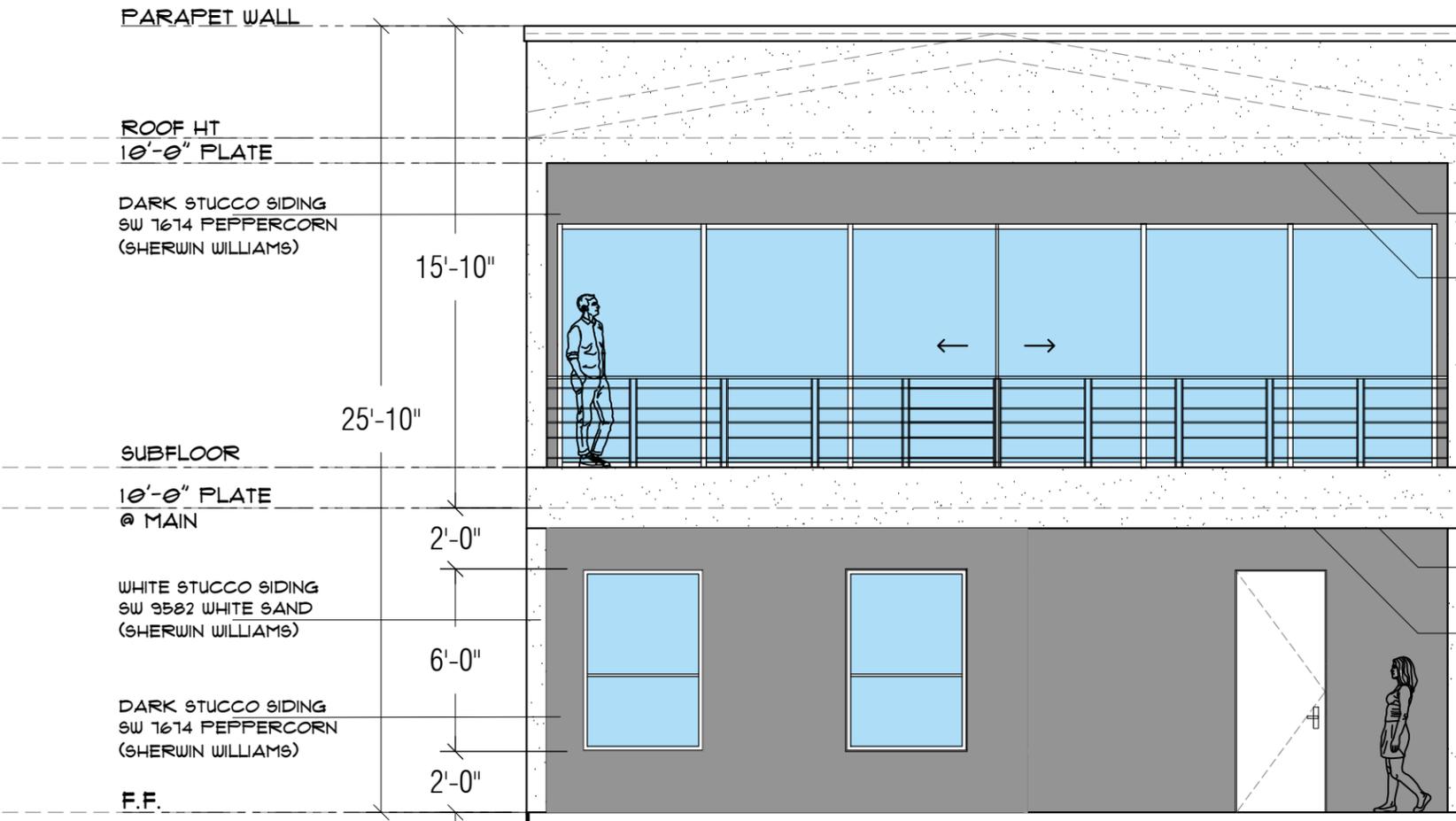
DARK STUCCO SIDING  
SW 1674 PEPPERCORN  
(SHERWIN WILLIAMS)

MATERIAL SELECTION				EXTERIOR COVERAGE			
MATERIAL	MANUFACTURER	NAME	COLOR	FRONT	REAR	RIGHT SIDE	LEFT SIDE
STUCCO	QUIKRETE		WHITE/DARK	654 SQ. FT.	483 SQ. FT.	1,288 SQ. FT.	1,220 SQ. FT.
DRY STACK STONE VENNER	ELDORADO		BROWN	65 SQ. FT.			
							65 SQ. FT.
							TOTAL
							3,710 SQ. FT.
							100%

CUSTOMER/CONTRACTOR TO HAVE FINAL APPROVAL OF ACTUAL MATERIALS TO BE SELECTED FOR CONSTRUCTION WORK.

DARK STUCCO SIDING  
SW 1674 PEPPERCORN  
(SHERWIN WILLIAMS)

FRONT ELEVATION 8  
SCALE: 3/16"=1'-0"



UNDERCEILING:  
4" LIP STUCCO

UNDERCEILING:  
WALNUT (REAL WOOD)

UNDERCEILING:  
4" LIP STUCCO

UNDERCEILING:  
WALNUT (REAL WOOD)

REAR ELEVATION 8  
SCALE: 3/16"=1'-0"

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PAGE TITLE: ELEVATIONS PLAN  
SCALE: 3/16" = 1'-0"  
DATE: 4/13/2023  
PAGE: 7

PARAPET WALL

ROOF HT  
10'-0" PLATE

UNDERCEILING:  
4" LIP STUCCO

WHITE STUCCO SIDING  
SW 9582 WHITE SAND  
(SHERWIN WILLIAMS)

SUBFLOOR

10'-0" PLATE  
@ MAIN

RIGHT ELEVATION

SCALE: 3/16"=1'-0"

8.1

F.F.

11'-4"

8'-0"

4'-6"

10'-0"

1'-4"

11'-4"

8'-0"

11'-6"

3'-0"

1'-4"

4'-0"

2'-0"

4'-0"

LEFT ELEVATION

SCALE: 3/16"=1'-0"

8.1

PARAPET WALL

ROOF HT  
10'-0" PLATE

UNDERCEILING:  
4" LIP STUCCO

UNDERCEILING: WALNUT  
(REAL WOOD)

WHITE STUCCO SIDING  
SW 9582 WHITE SAND  
(SHERWIN WILLIAMS)

SUBFLOOR

10'-0" PLATE  
@ MAIN

UNDERCEILING: WALNUT  
(REAL WOOD)

DARK STUCCO SIDING  
SW 1614 PEPPERCORN  
(SHERWIN WILLIAMS)

WHITE STUCCO SIDING  
SW 9582 WHITE SAND  
(SHERWIN WILLIAMS)

F.F.

11'-6"

3'-0"

1'-4"

4'-0"

2'-0"

4'-0"

8'-0"

1'-4"

4'-0"

2'-0"

4'-0"

8'-0"

11'-6"

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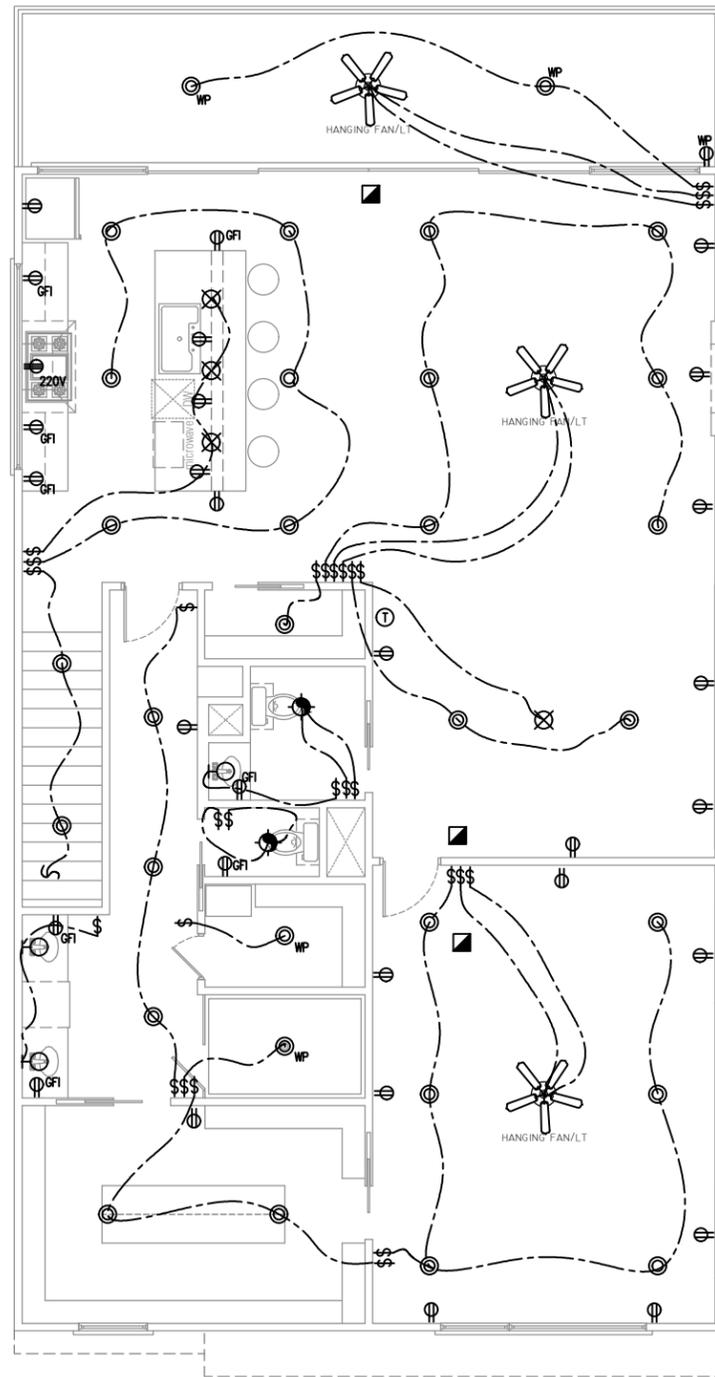
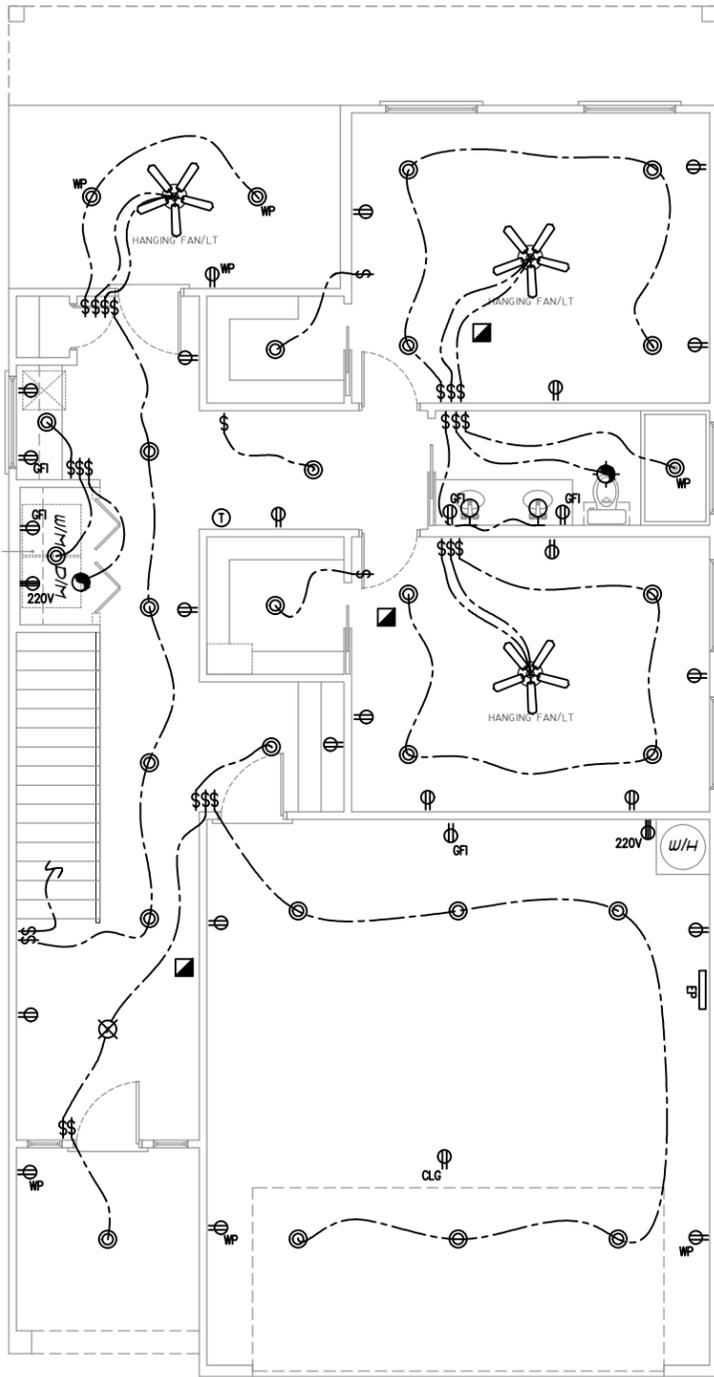
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PAGE TITLE: ELEVATIONS PLAN

SCALE: 3/16"=1'-0"

DATE: 4/13/2023

PAGE: 8

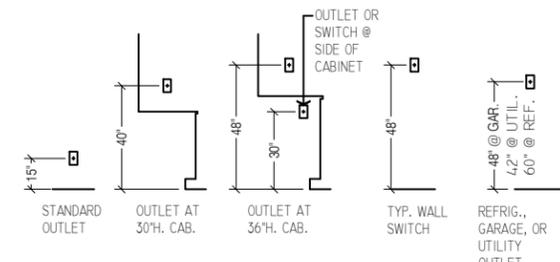


THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE 2017 NEC

**ELECTRICAL LEGEND**

NOTE: VERIFY W/ OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS...INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, PANEL LOCATIONS, ETC.

	110 VOLT RECEPTACLE		SINGLE POLE SWITCH		CEILING FAN/OR CHANDELIER WITH LIGHT KIT
	WATERPROOF RECEPTACLE		THREE WAY SWITCH		
	110 VOLT IN CEILING		FOUR WAY SWITCH		
	110 VOLT WITH GROUND FAULT INTERRUPTER		DIMMER SWITCH		
	110 VOLT IN FLOOR		RHEOSTAT SWITCH		
	220 VOLT RECEPTACLE		MOTION DETECTOR-WALL MOUNT		
	110 VOLT DIRECT HARD WIRE		CEILING MOUNTED LIGHT		
	TV ANTENNA/CABLE/SATELITE/ETC. (VERIFY WITH OWNER)		HANGING LIGHT		
	HOSE BIBB		RECESSED, ADJUSTABLE CAN LIGHT		
	TELEPHONE OUTLET W/ CAT5 VOICE & DATA		WATERPROOF RECESSED ADJUSTABLE CAN LIGHT		
	PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)		WALL MOUNTED LIGHT		
	SMOKE DETECTOR W/ CARBON MONOXIDE DETECTOR (HARD WIRE WITH BATTERY BACKUP)		LED STRIP LIGHTING		
	CHIMES (FOR DOOR BELL)		24" UNDER-CABINET FLUOR. FIXTURE		
	THERMOSTAT		TRACK LIGHTING (LENGTH PER PLAN)		
	ELEC. PANEL		EXHAUST FAN (50 CFM MIN.)		
	METER BASE		EXHAUST FAN (50 CFM MIN.) W/ LIGHT		
			2x4 LIGHT FLUORESCENT FIXTURE [32 W] T-8 4 LAMPS		
			1x4 LIGHT FLUORESCENT FIXTURE [32 W] T-8 2 LAMPS		



**ELECTRIC FIXTURE HEIGHTS**  
(UNLESS NOTED OTHERWISE)

**GENERAL ELECTRICAL NOTES**

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

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### PLUMBING LEGEND

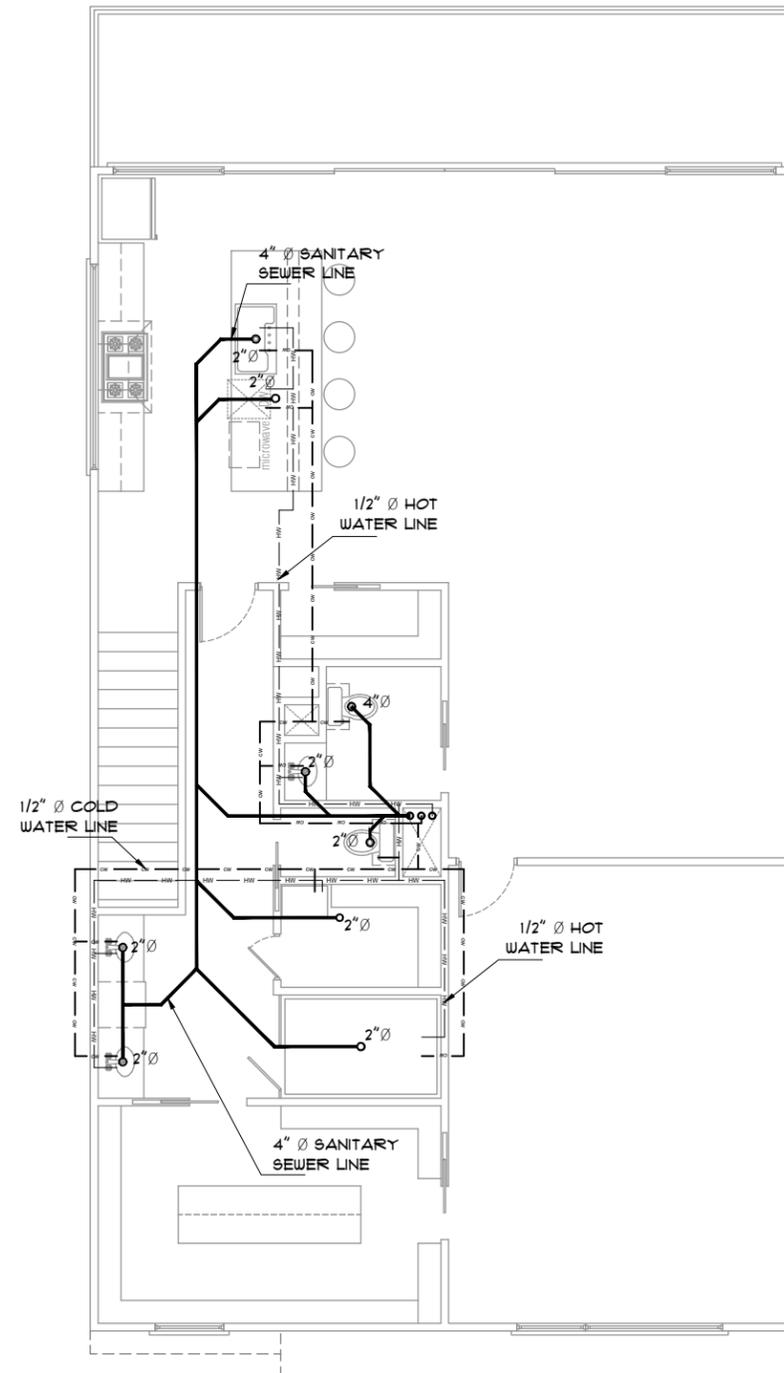
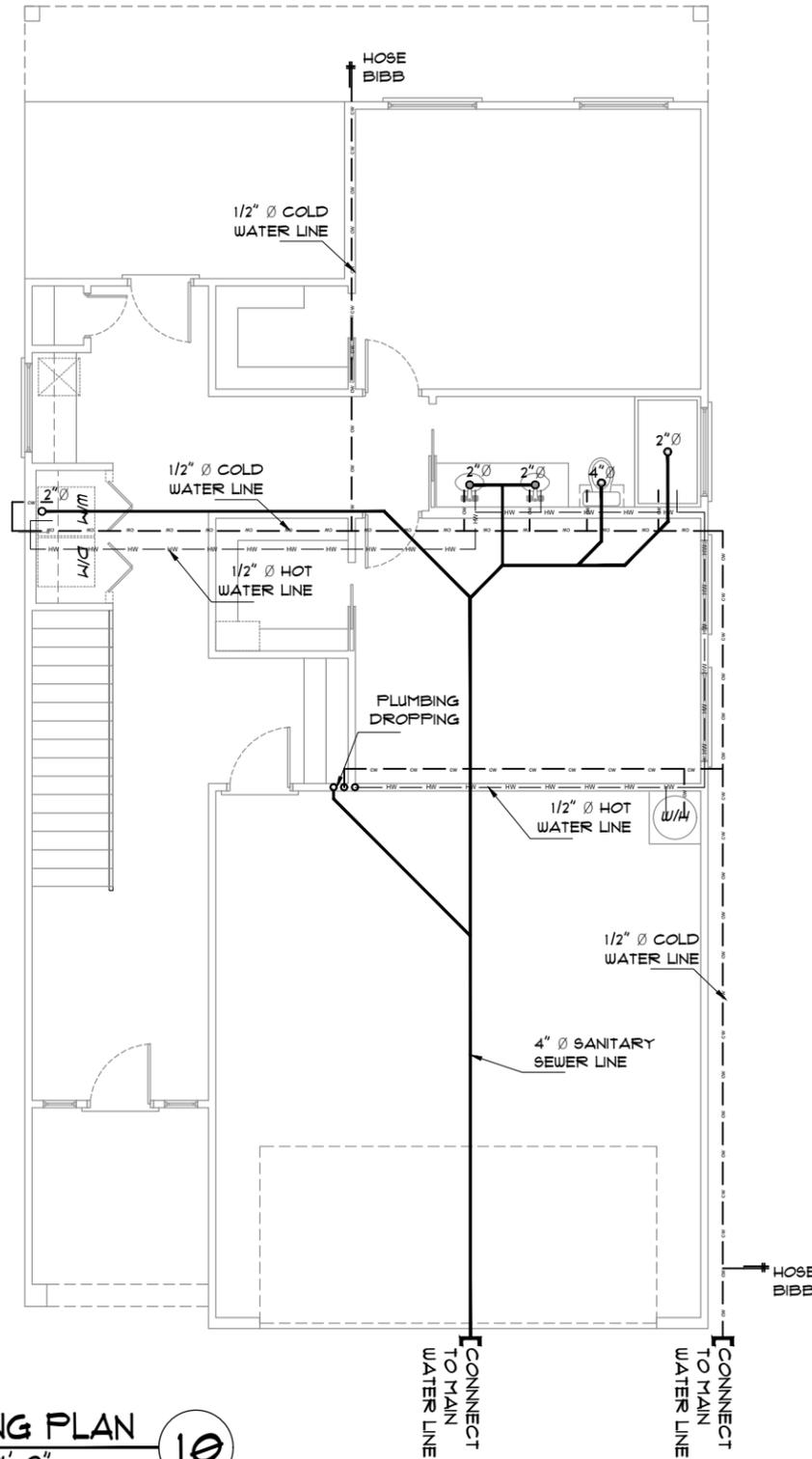
SYMBOL	ITEM DESCRIPTION
	SANITARY SEWER
	HOT WATER
	COLD WATER

### PLUMBING GENERAL NOTES

- ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
- ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
- EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
- SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.
- ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
- WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
- PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
- ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
- ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
- INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
- PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
- PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
- COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.

### MATERIALS TO USE:

PVC (POLY VINYL CHLORIDE): FOR PLUMBING WASTE LINES:  
 PEX (CROSS-LINKED POLYETHYLENE): FOR WATER SUPPLY LINES:  
 HOT AND COLD PIPES ARE GOING TO BE OVERHEAD.



PLUMBING PLAN  
 SCALE: 1/8"=1'-0"

10

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 ROCKWALL, TX 75082

PAGE TITLE: PLUMBING PLAN  
 SCALE: 1/8"=1'-0"  
 DATE: 4/13/2023  
 PAGE: 10

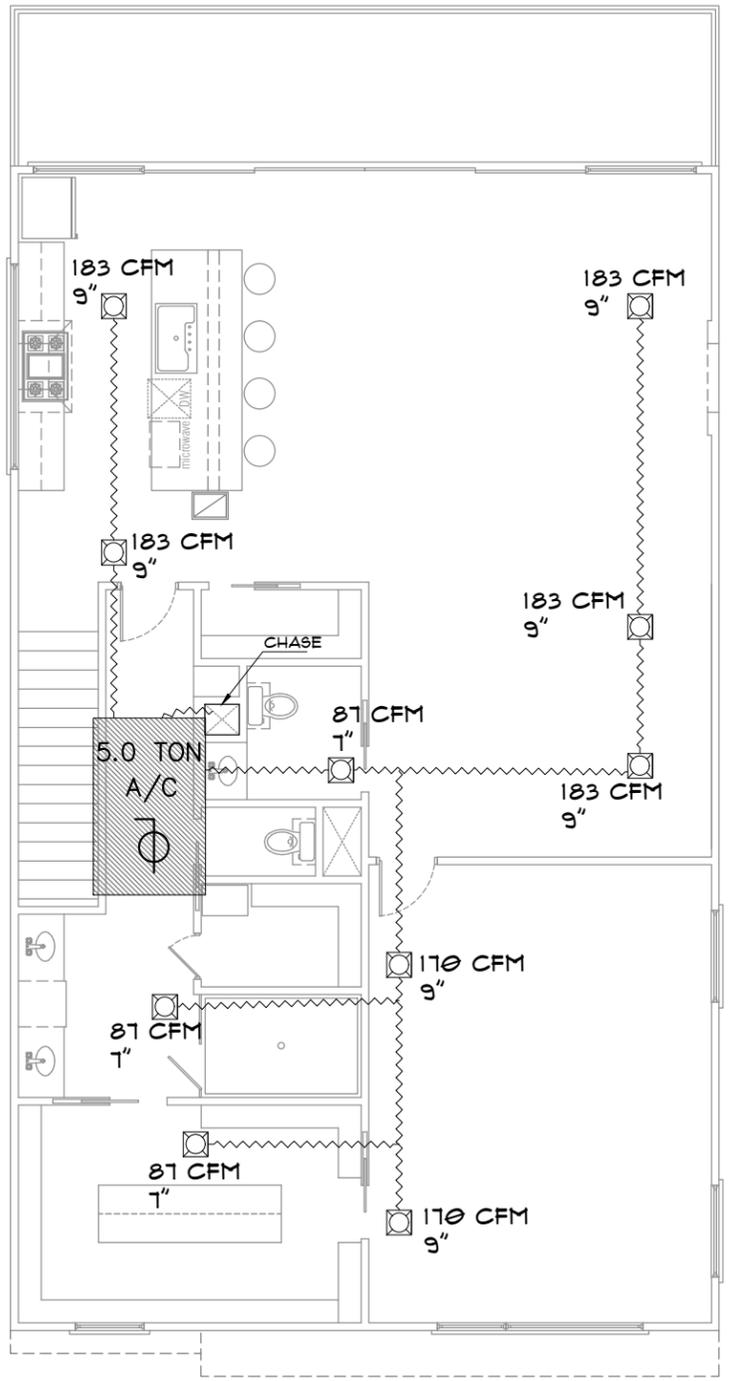
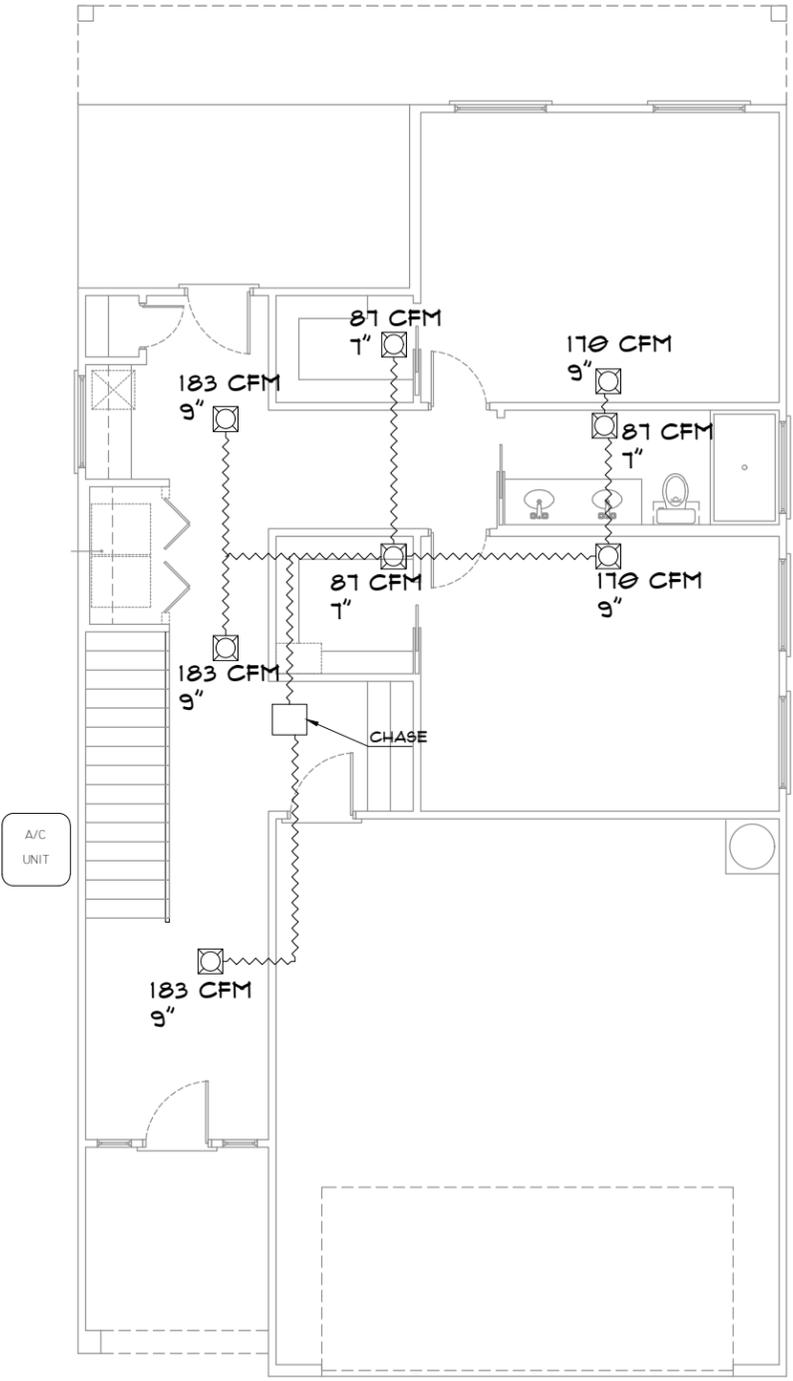


**GENERAL NOTES:**

- 1 HOLD TOP OF DUCT FLAT AND USE ECCENTRIC REDUCERS TO TRANSITION THE BOTTOM OF DUCT.
- 2 BRANCH DUCT SIZE SHALL MATCH DIFFUSERS NECK SIZE, REF AIR DEVICE SCHEDULE.
- 3 ALL SUPPLY & RETURN DUCT AND PLENUMS SHALL BE LINED.
- 4 COORDINATE ACTUAL DIFFUSER AND GRILLE PLACEMENT WITH ARCHITECT'S ELECTRICAL LIGHTING PLAN.
- 5 COORDINATE ACTUAL UNIT AND FAN LOCATIONS WITH THE EXISTING STRUCTURAL FRAMING. RELOCATE UNITS AND PROVIDE ADDITIONAL FRAMING AS REQUIRED.

**MECHANICAL - KEYED NOTES:**

- ① COORDINATE FINAL MECHANICAL EQUIPMENT LOCATION WITH EXISTING STRUCTURAL REQUIREMENTS.
- ② INSULATED DOUBLE-WALL SPIRAL DUCT WITH MILL-GALVANIZED FINISH (SIMILAR TO LINDAB). PENETRATE THRU UPPER SOFFITT SIDEWALL. COORDINATE ROUTING WITH LIGHTS.



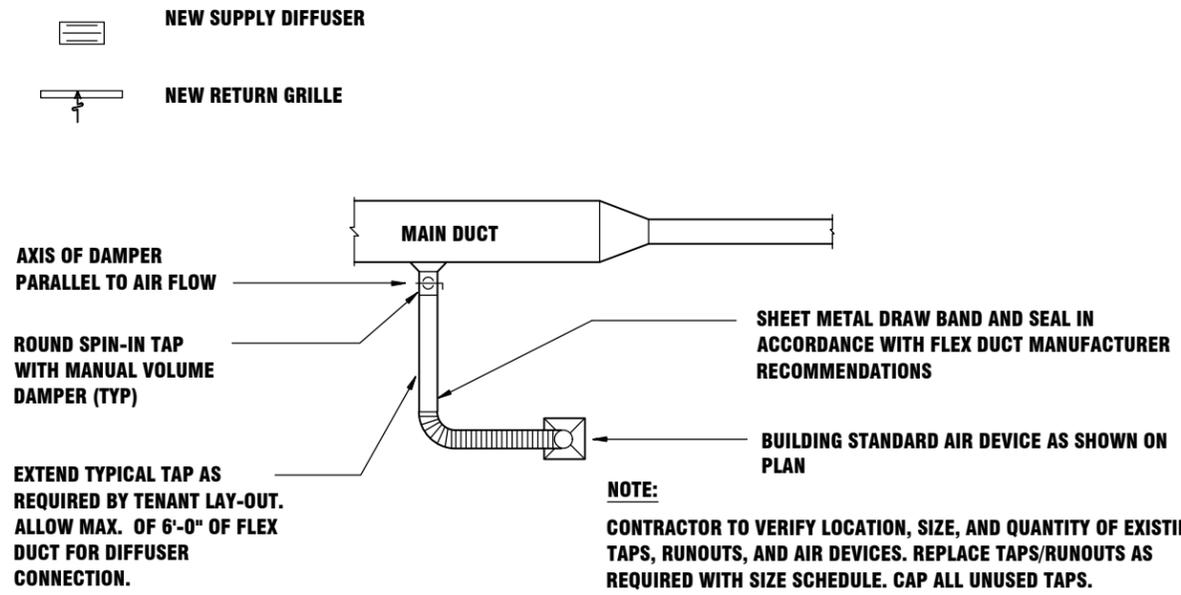
LEGEND	
	AIR RETURN
	A.C. LOUVER
	FLEX
	TIE IN
	5 TON- AIR HANDLING UNIT

**MECHANICAL PLAN**  
SCALE: 1/8"=1'-0" 11

THESE PLANS ARE INTENDED TO PROVIDE BASIS INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, THE BUILDER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

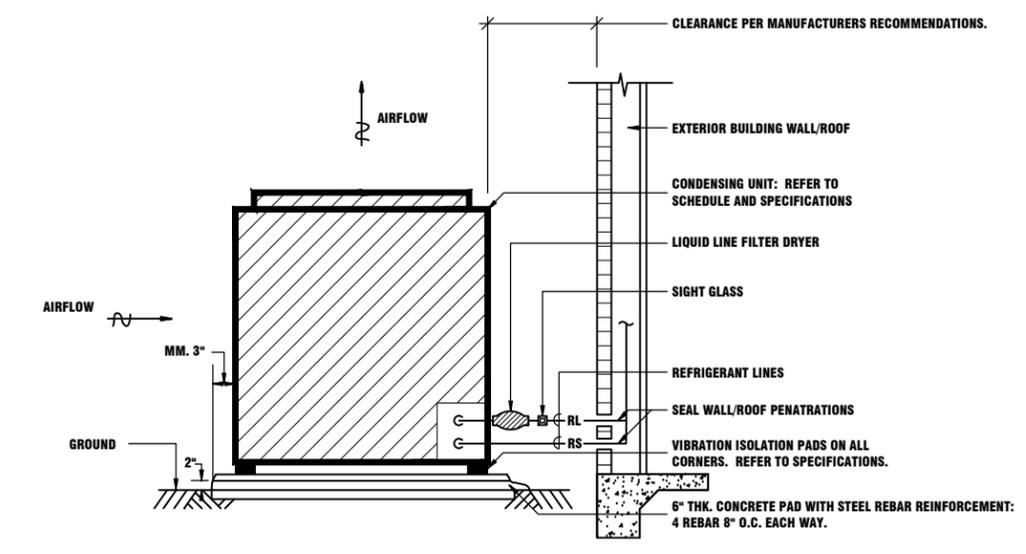
**311 VALIANT DR,  
ROCKWALL, TX 75082**

PAGE TITLE: MECHANICAL PLAN  
 SCALE: 1/8" 1'-0"  
 DATE: 34/13/2023  
 PAGE: 11



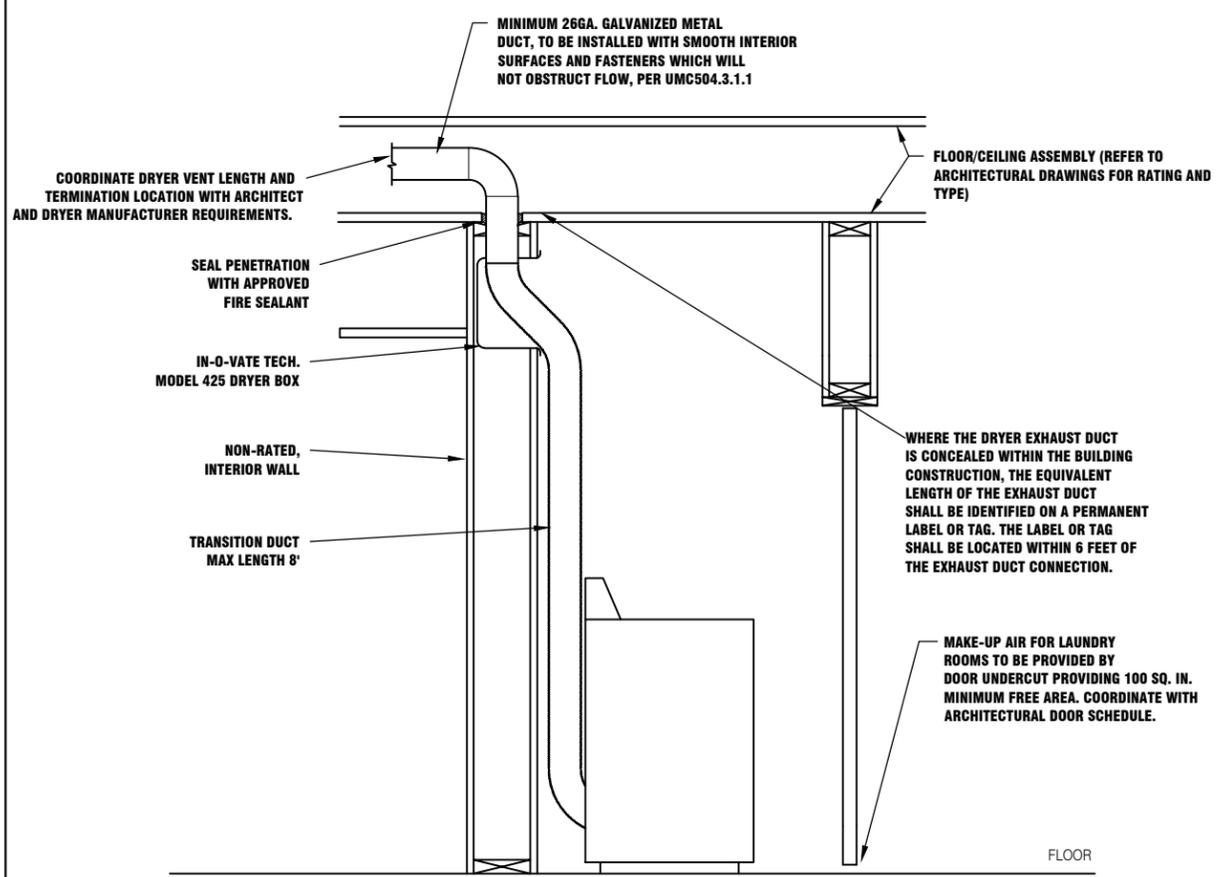
**NOTE:**  
 CONTRACTOR TO VERIFY LOCATION, SIZE, AND QUANTITY OF EXISTING TAPS, RUNOUTS, AND AIR DEVICES. REPLACE TAPS/RUNOUTS AS REQUIRED WITH SIZE SCHEDULE. CAP ALL UNUSED TAPS.

Diffuser Connection Detail  
 N.T.S.

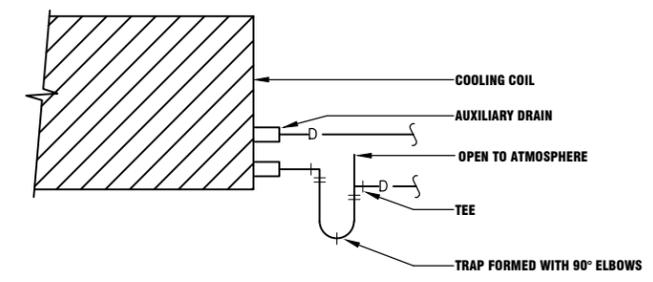


**NOTES:**  
 1. REFRIGERANT LINES SHALL BE SIZED FROM EVAPORATOR COIL AT INDOOR AIR HANDLING UNIT BASED ON MANUFACTURERS RECOMMENDATIONS.

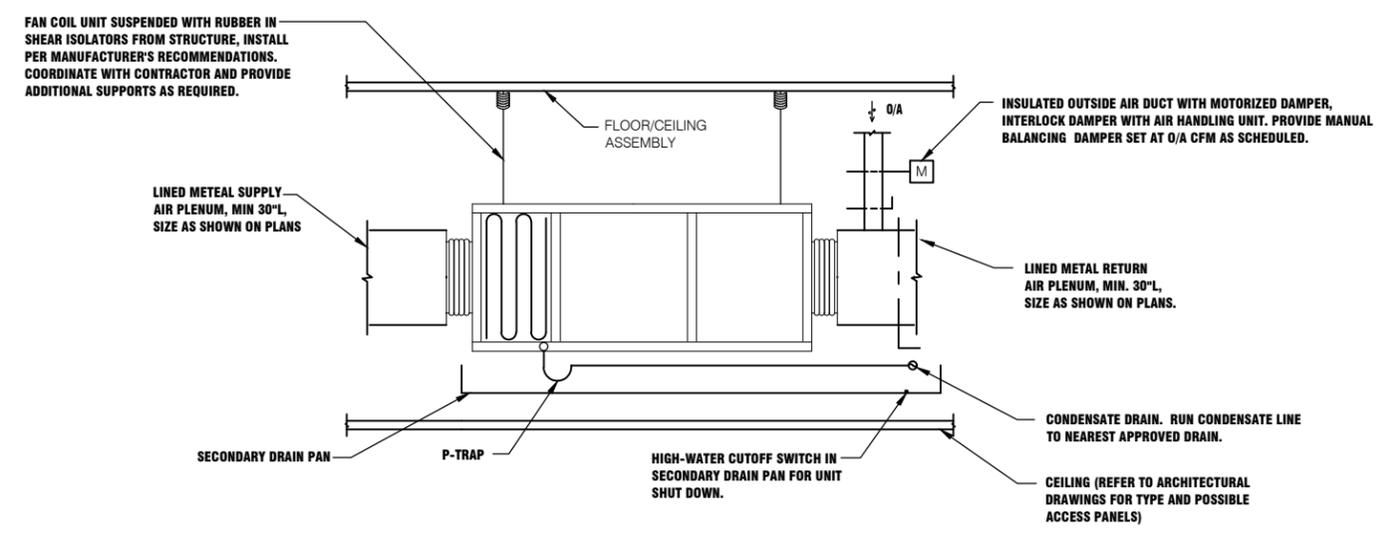
Condensing Unit Detail  
 N.T.S.



Dryer Vent Detail  
 N.T.S.



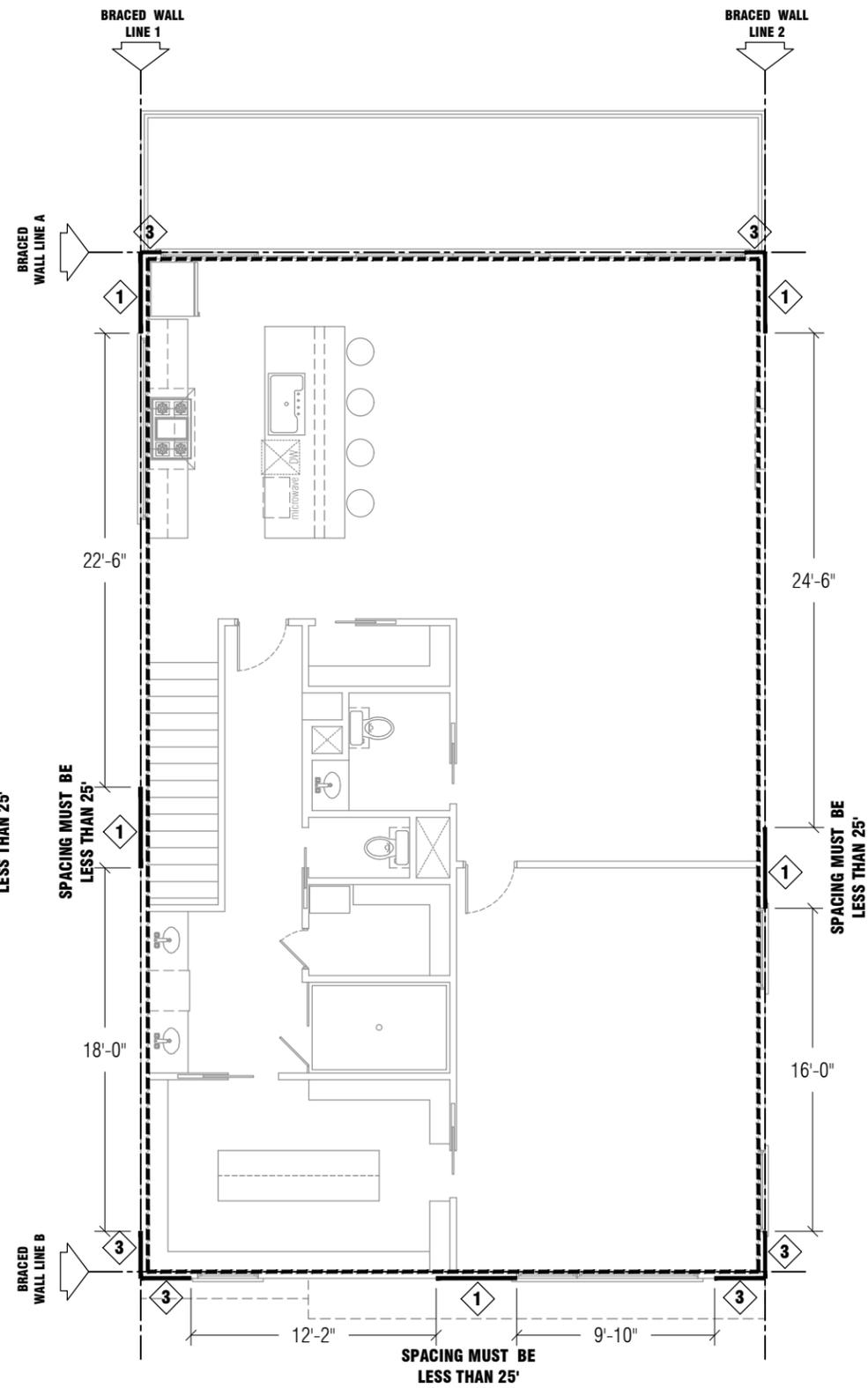
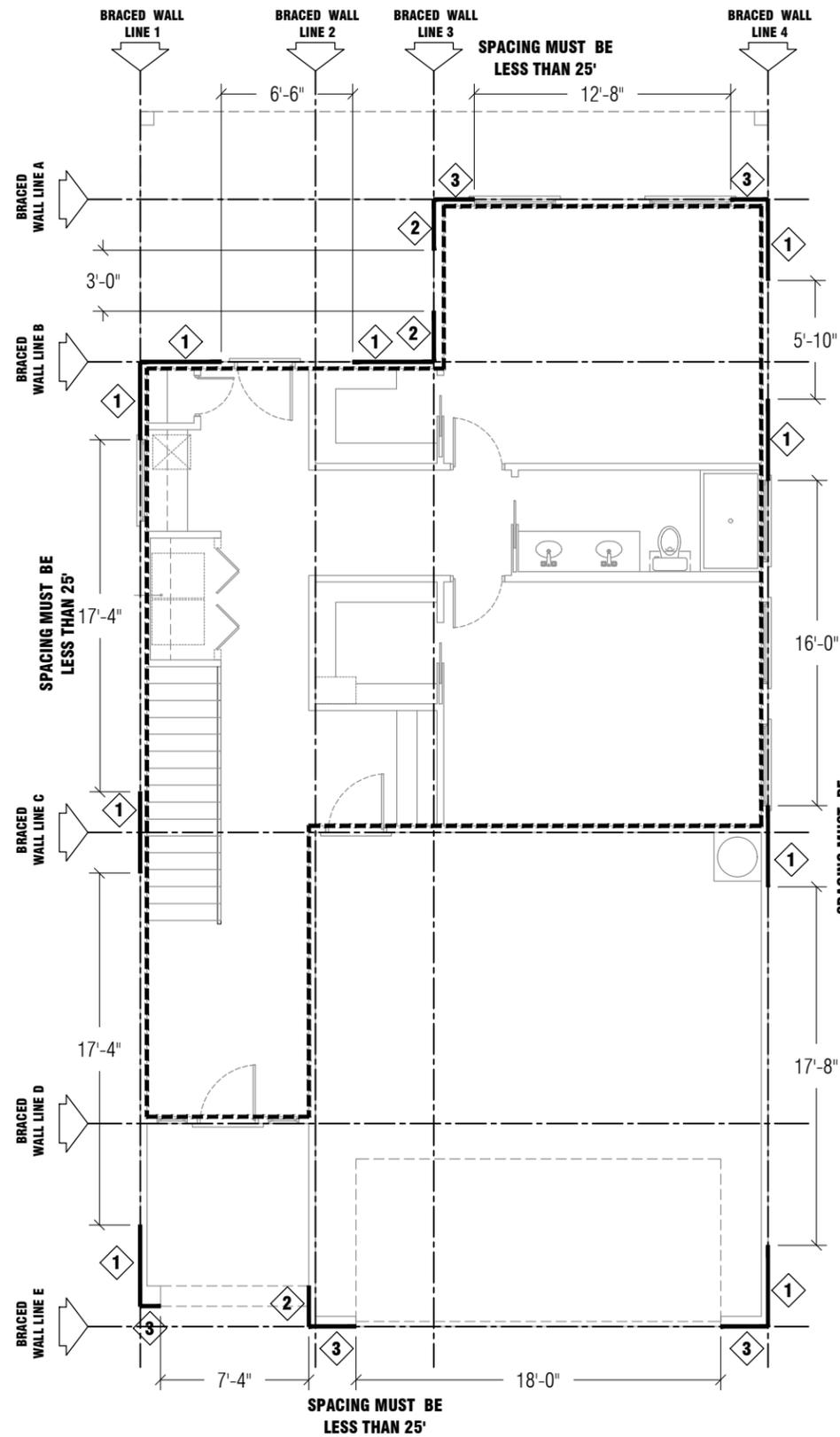
Typical Condensate Piping Detail  
 N.T.S.



Typical Horizontal FCU Detail  
 N.T.S.

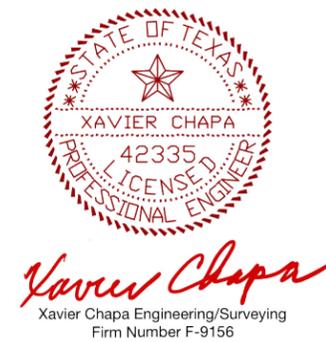
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**WIND BRACING PLAN**  
SCALE: 1/8"=1'-0"

12

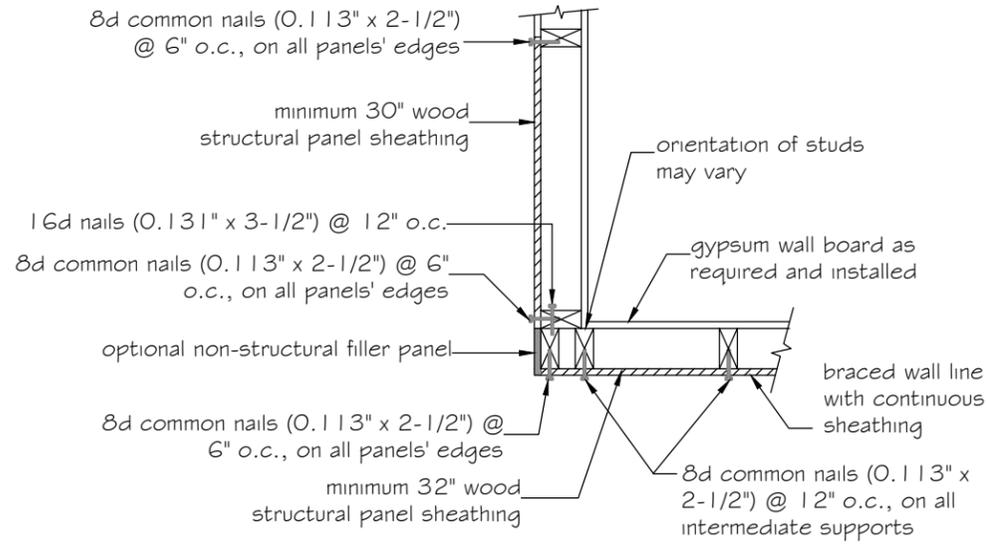


04/13/2023

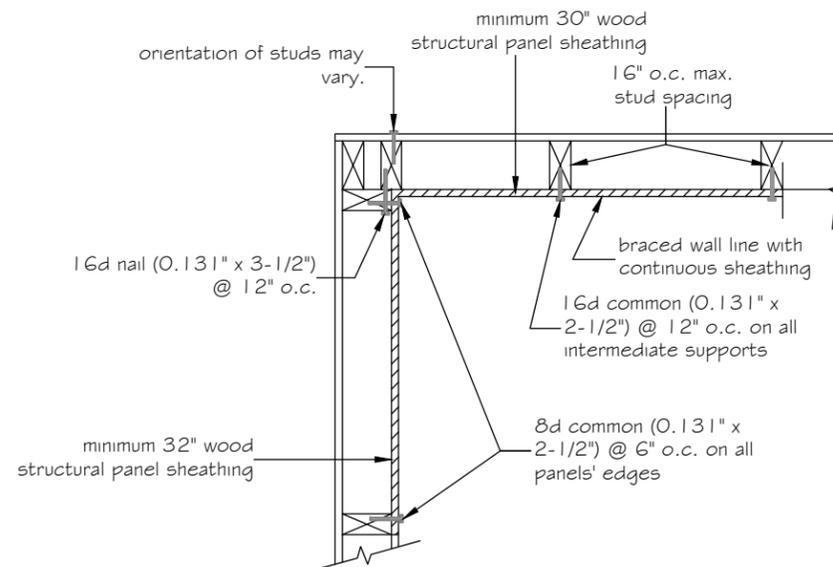
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PAGE TITLE:	WIND BRACING PLAN
SCALE:	1/8"=1'-0"
DATE:	4/13/2023
PAGE:	11



(a) Outside corner detail  
Scale: n.t.s.



(b) Inside corner detail  
Scale: n.t.s.

THIS DESIGN MEETS THE 2015 IRC REQUIREMENTS.

LEGEND

- 1 48" Braced Wall Panel
- 2 30" Braced Wall Panel
- 3 24" Braced Wall Panel

Design Specs:  
 1. For winds speeds < 115mph, one story, 8' wall height  
 2. CS-WSP (continuously sheathed wood structural panel) method to be used.  
 3. Minimum wood structural panel thickness to be 3/8"

GENERAL NOTES:	SYMBOL
-BRACED WALL LINE	
-BRACED WALL PANEL DASHED LINE INDICATES STRUCTURAL SHEATHING.	
-BRACED WALL PANEL SEE DETAILS A & B	

MAX. STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	8d OR 16d COMMON NAILS	6" - PANEL EDGES 12"-INTERMEDIATES SUPPORTS

NOTE:

- FOR THE TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 12'-0" PROVIDE 2x4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 12'-0" TO 17'-0", PROVIDE 2x6 CONTINUOUS STUDS @ 16" O.C.
- PROVIDE 2x6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOOR AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH TABLE R602.3.5 OF 2015 & 2015 I.R.C.

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE ENGINEER HAS MADE NO ATTEMPT TO VERIFY THE EXISTING CONDITIONS OF THE PROJECT. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

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*Xavier Chapa*  
 Xavier Chapa Engineering/Surveying  
 Firm Number F-9156

04/13/2023





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-024

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
301 Valiant Drive	Single-Family Home	1995	3,428	N/A	Brick and Siding
303 Valiant Drive	Single-Family Home	2001	3,289	N/A	Brick
305 Valiant Drive	Single-Family Home	1994	2,788	N/A	Brick
307 Valiant Drive	Single-Family Home	2005	3,331	N/A	Brick and Stone
309 Valiant Drive	Single-Family Home	1992	3,459	N/A	Brick
311 Valiant Drive	Vacant	N/A	N/A	N/A	Vacant
313 Valiant Drive	Single-Family Home	1994	2,534	N/A	Brick and Siding
315 Valiant Drive	Single-Family Home	2001	3,031	N/A	Brick
314 Valiant Drive	Single-Family Home	1993	4,101	N/A	Brick
318 Valiant Drive	Single-Family Home	2000	3,198	N/A	Brick
320 Valiant Drive	Single-Family Home	1996	3,073	N/A	Brick
AVERAGES:		1997	3,223		



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-024

**PLANNING AND ZONING DEPARTMENT**

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301 Valiant Drive



303 Valiant Drive



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-024

**PLANNING AND ZONING DEPARTMENT**

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305 Valiant Drive



307 Valiant Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-024

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309 Valiant Drive



311 Valiant Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-024

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313 Valiant Drive



315 Valiant Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-024

**PLANNING AND ZONING DEPARTMENT**

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314 Valiant Drive



318 Valiant Drive



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-024

### PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



320 Valiant Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1278-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK C, OF THE CHANDLER'S LANDING #16 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Chris Curra for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, of the Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 17<sup>th</sup> DAY OF JULY, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: June 19, 2023

2<sup>nd</sup> Reading: July 17, 2023

**Exhibit 'A':**  
**Location Map and Residential Plot Plan**

Address: 311 Valiant Drive

Legal Description: Lot 6, Block C, Chandler's Landing #16 Addition



Exhibit 'A':  
Location Map and Residential Plot Plan

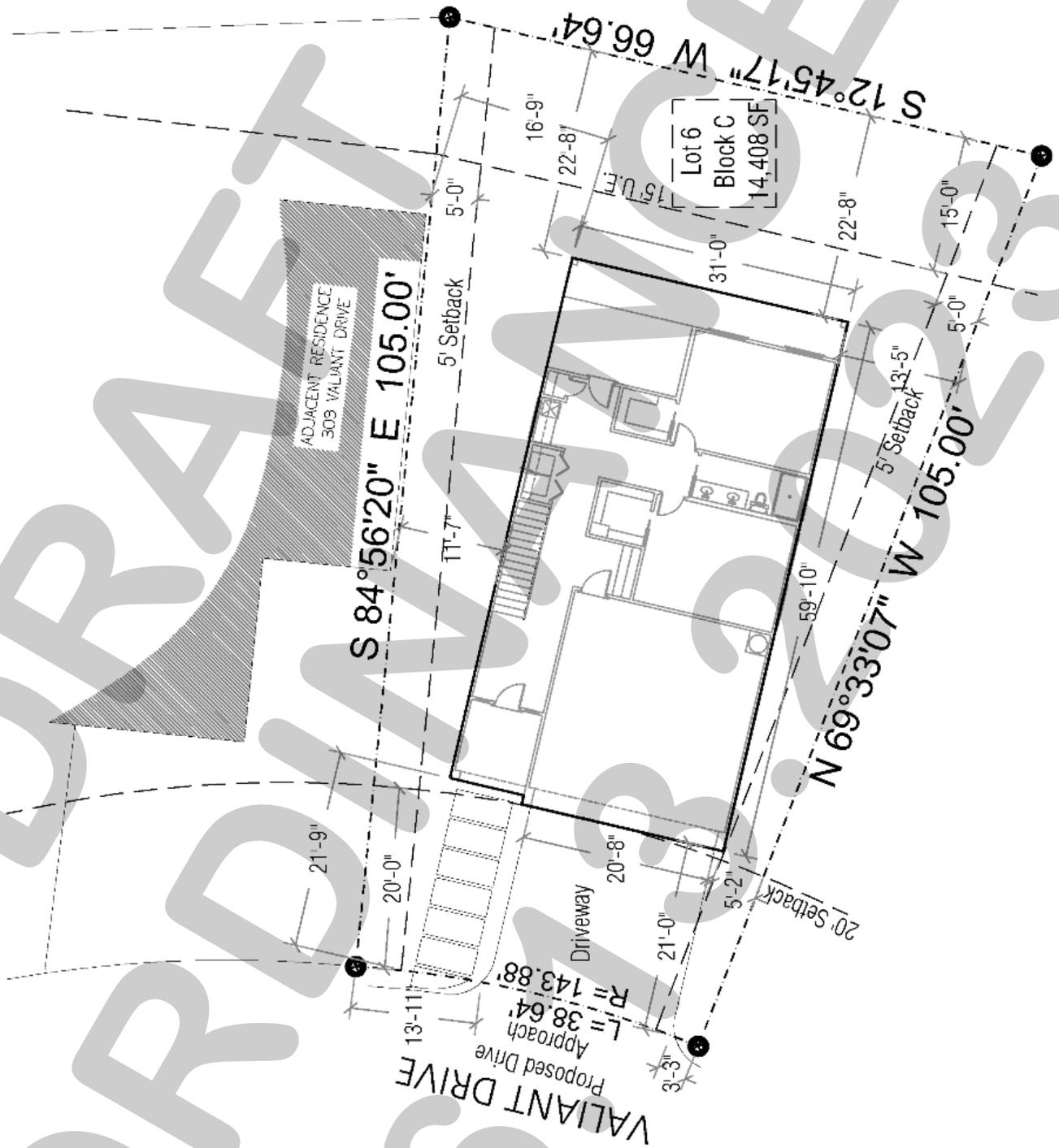
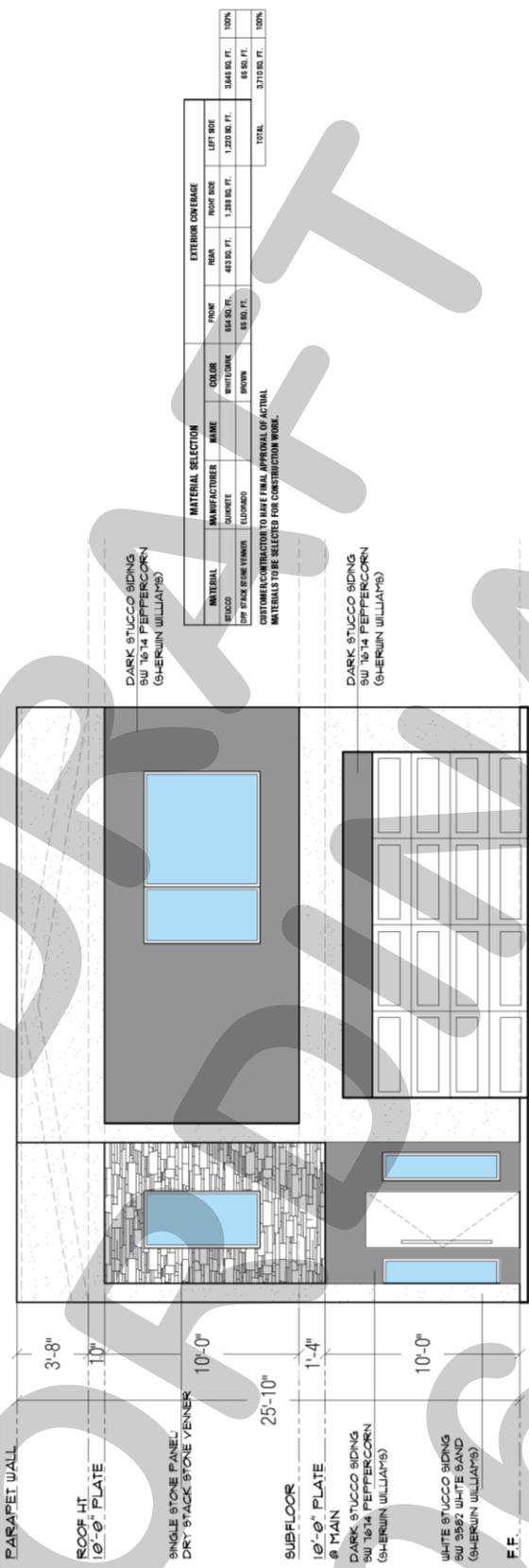
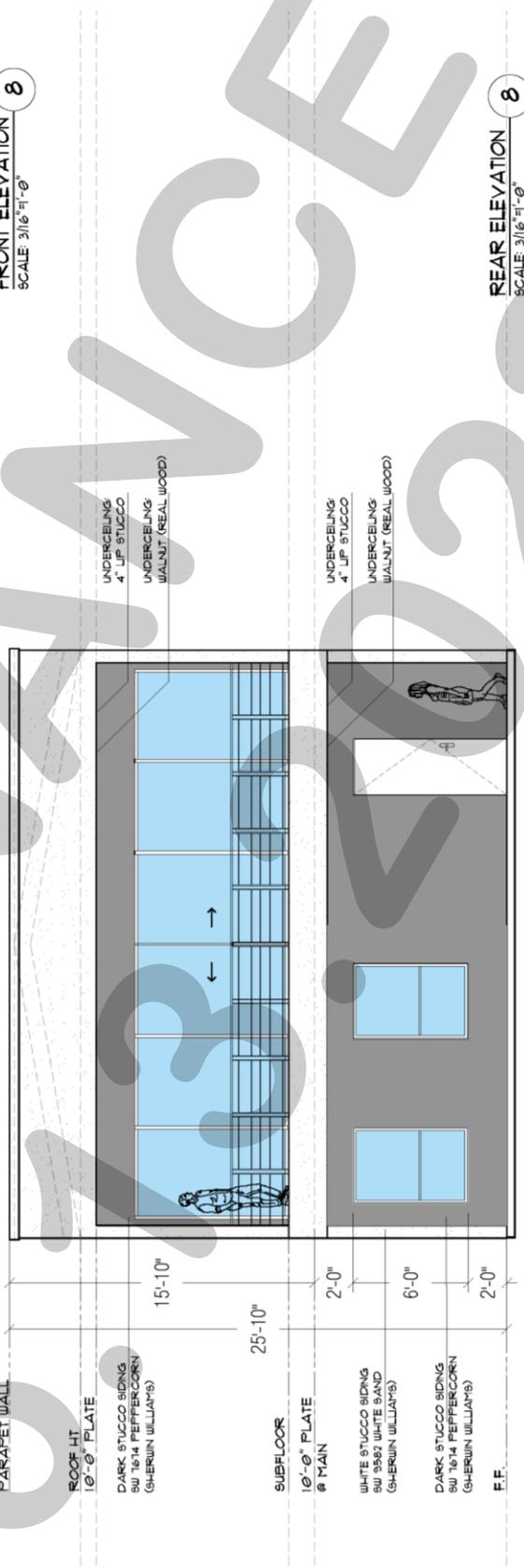


Exhibit 'B':  
Building Elevations



MATERIAL SELECTION		EXTENSIVE COVERAGE	
MATERIAL	MANUFACTURER	THICKNESS	AREA
DARK STUCCO SIDING SW 1614 PEPPERCORN (SHERWIN WILLIAMS)	QUICKCO	4/8" (1/2")	483 SQ. FT.
WHITE STUCCO SIDING SW 9382 WHITE SAND (SHERWIN WILLIAMS)	QUICKCO	4/8" (1/2")	68 SQ. FT.
TOTAL			551 SQ. FT.

FRONT ELEVATION 8  
SCALE: 3/16"=1'-0"



REAR ELEVATION 8  
SCALE: 3/16"=1'-0"





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 13, 2023  
**APPLICANT:** Gene McCorkle; Tuff Shed  
**CASE NUMBER:** Z2023-025; *Specific Use Permit (SUP) for an Accessory Building at 3065 Winecup Lane*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

### BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37 [Case No. A1986-005]*. The subject property was zoned Agricultural (AG) District at the time of annexation. According to the City's Historic Zoning Maps, sometime between May 19, 1986 and December 7, 1993, the subject property was rezoned to Single-Family 7 (SF-7) District, and has remained zoned Single-Family 7 (SF-7) District since then. On January 10, 1996, a final plat for the Highland Meadows, Phase 1 Subdivision was filed with Rockwall County. This established the subject property as Lot 11, Block C, Highland Meadows #1 Addition. According to the Rockwall County Appraisal District (RCAD) currently situated on the subject property is a 2,072 SF single family home that was constructed in 2001 and a 218 SF covered porch that was constructed in 2012.

### PURPOSE

The applicant -- *Gene McCorkle of Tuff Shed* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of an *Accessory Structure* that exceeds the overall maximum allowable square footage as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3065 Winecup Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several single-family homes, which are part of the Highland Meadows Phase 1 Subdivision. Beyond this are several single-family homes that are part of the Highland Meadows, Phase 2 Subdivision. All of these properties are zoned Single-Family 7 (SF-7) District. North of this is Mims Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several single-family homes situated within the Flagstone Subdivision. This area is zoned Planned Development District 54 (PD-54) for Single-Family 10 (SF-10) District land uses.

South: Directly south of the subject property are several single-family homes, which are part of the Highland Meadows, Phase 1 Subdivision. The properties are zoned Single-Family 7 (SF-7) District. Beyond this are several single-family homes that are part of the Lynden Park Estates, Phase 4 Subdivision. These properties are zoned Planned Development District 17 (PD-17).

East: Directly east of the subject property several single-family homes, which are part of the Highland Meadows, Phase 1 Subdivision. The properties are zoned Single-Family 7 (SF-7) District. Beyond this is the Highland Meadows Greenbelt, which is owned and maintained by the City of Rockwall and is zoned Agricultural (AG) District. Beyond this is Mims Road which is classified as a M4U (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are several single-family homes, which are part of the Highland Meadows, Phase 1 Subdivision. The properties are zoned Single-Family 7 (SF-7) District. Beyond this are several single-family homes that are part of the Lynden Park Estates, Phase 2, 1A, & 1B Subdivisions. These properties are zoned Planned Development District 17 (PD-17). Beyond this is W. Ralph Hall Parkway, which is classified as an A4D (*i.e. arterial, four (4) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a development application, site plan, and building elevations proposing to construct a 12-foot by 16-foot (*or 192 SF*) accessory building on the subject property. The proposed accessory building will be clad in a composite panel, anchored to a concrete foundation, and will stand less than ten (10) feet in height as measured to the mid-point of the pitched roof. The proposed structure will be situated in the rear yard and be a minimum of three (3) feet from the rear yard (*i.e. the western*) and six (6) feet from the side yard (*i.e. the northern*) property lines.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory structures. The maximum square footage of an accessory building is 144 SF. Accessory structures are limited to a maximum height of 15-feet. The setbacks for an accessory structure in a Single-Family 7 (SF-7) District are three (3) feet from the rear property line and six (6) feet from the side-yard property line. Accessory structures are also required to have a minimum of six (6) feet of separation from any other building or structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." Staff should point out that the applicant has indicated in the May 30, 2023 Planning and Zoning Work Session that they have poured a concrete slab for this accessory structure. After further review, staff found that this was done without a permit and according to the applicant's exhibit (*i.e. Figure 1*), the concrete pad is five (5) feet from the side yard (*i.e. the northern*) property line. This will need to be corrected before the issuance of a building permit. The Specific Use Permit will be the first step in bringing this property into compliance and will allow the applicant the opportunity to apply for their building permit.

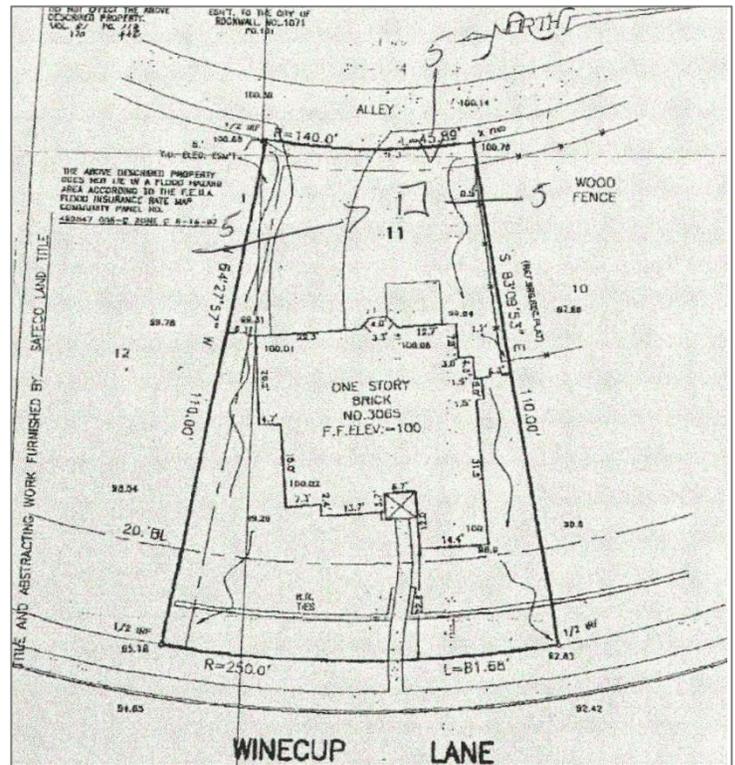


FIGURE 1: SITE PLAN

### **STAFF ANALYSIS**

In this case, the applicant's request generally conforms to the height requirements for an accessory building; however, the accessory structure does not adhere to the maximum allowable size or the building setbacks for an accessory structure in a Single-Family 7 (SF-7) District. Specifically, the accessory structure will exceed the permitted 144 SF by 46 SF and the current

concrete pad is setback five (5) feet from the side-yard (*i.e. the northern*) property line. As mentioned before, this will need to be corrected before the issuance of a building permit and has been added to the operational conditions within the draft ordinance and the conditions of approval stated later in this memo. For the purpose of comparing the proposed *Accessory Structure* for the subject property to other *Accessory Structures* constructed in the Highland Meadows Subdivision. Through this analysis, staff has identified nine (9) *Accessory Structures* constructed within three (3) blocks of the subject property. Only one (1) of the structures is larger than the allowable size of 144 SF (*i.e. a 168 SF Accessory Structure* used for storage at 740 Primrose Lane) which is still smaller than what the applicant is requesting at 192 SF. Based on the proposed size and location of the accessory building, staff should point out that this structure will have very limited visibility from the adjacent properties. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On May 24, 2023, staff mailed 137 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park and Flagstone Estates Homeowner's Associations (HOAs) which were the only Homeowner's Associations (HOAs) within the 1,500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an Accessory Building, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (1) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of this ordinance.
  - (2) The construction of an *Accessory Structure* on the *Subject Property* shall generally conform to the Building Elevations and Accessory Structure Details depicted in *Exhibit 'C'* of this ordinance.
  - (3) The *Accessory Structure* shall be built on an engineered concrete foundation that will support the weight of the proposed structure.
  - (4) The *Accessory Structure* shall meet the zoning district building setback requirements for an *Accessory Structure*.
  - (5) The *Accessory Structure* shall not exceed a maximum building footprint or size of 200 SF.
  - (6) The maximum height of the *Accessory Structure* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
  - (7) The *Accessory Structure* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22023-025

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 3065 WINECUP LN  
 SUBDIVISION: HIGHLAND MEADOWS #1 LOT: 11 BLOCK: C  
 GENERAL LOCATION: \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: \_\_\_\_\_ CURRENT USE: \_\_\_\_\_  
 PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_  
 ACREAGE: \_\_\_\_\_ LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>DEBORAH JULIAN</u>	<input type="checkbox"/> APPLICANT	<u>GENE MCCORKIE</u>
CONTACT PERSON	<u>GENE MCCORKIE</u>	CONTACT PERSON	<u>TUFF SHED</u>
ADDRESS	<u>3065 WINECUP LN</u>	ADDRESS	<u>1777 HARRISON</u>
CITY, STATE & ZIP	<u>ROCKWALL TX 75082</u>	CITY, STATE & ZIP	<u>DENVER CO 80210</u>
PHONE	<u>469-441-2077</u>	PHONE	<u>972-207-0049</u>
E-MAIL	<u>KITTEN5350@YAHOO.COM</u>	E-MAIL	<u>G.McCorkie @ TuffShed.com</u>

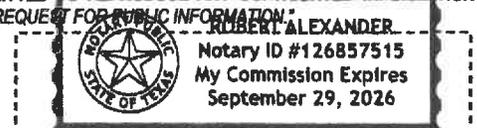
## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Deborah Julian [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 3 DAY OF May, 2023  
OWNER'S SIGNATURE: Deborah Julian

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 9/29/26



Z2023-025: Specific Use Permit for a Shed at 3065 Winecup Lane

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, May 23, 2023 3:17 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Program [Z2023-025]  
**Attachments:** Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 26, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 13, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 19, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-025: SUP for Accessory Building at 3065 Winecup Lane**

Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

Thank You,

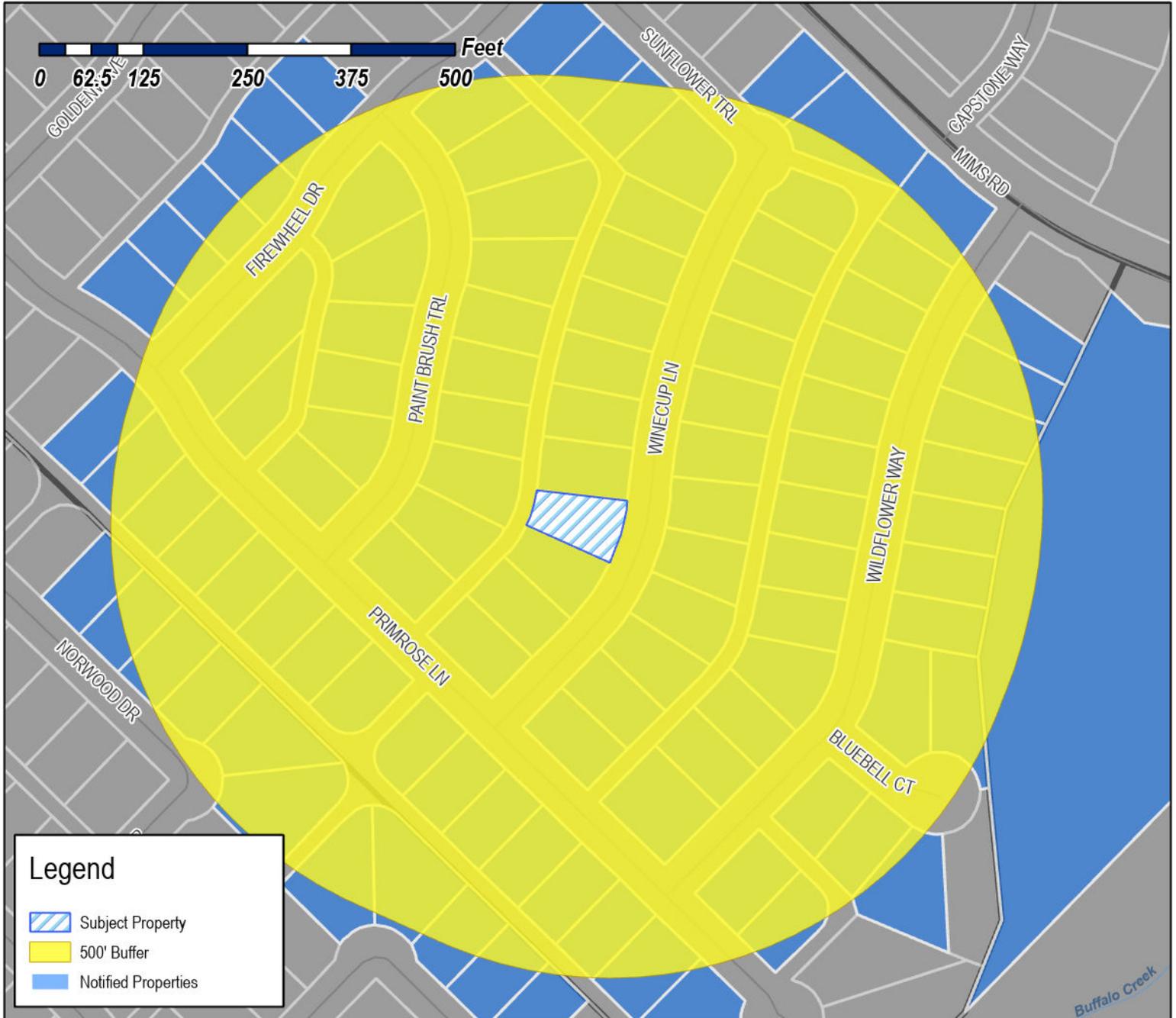
[Melanie Zavala](#)  
Planning Coordinator  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-771-6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

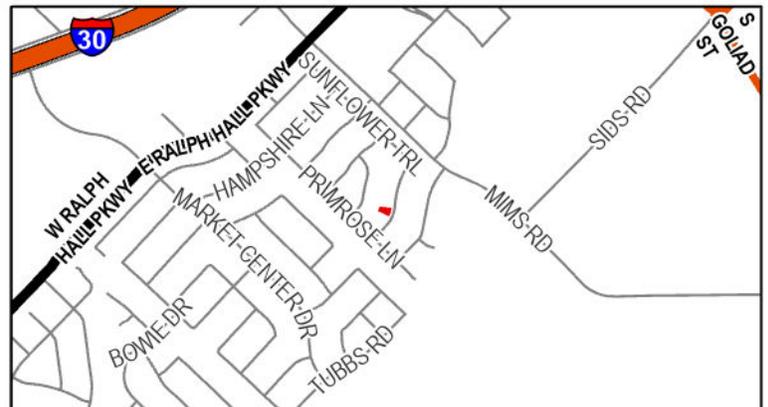
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**Case Number:** Z2023-025  
**Case Name:** SUP for Accessory Building  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 3065 Winecup Lane

**Date Saved:** 5/23/2023

For Questions on this Case Call: (972) 771-7746



COMER SHAPHAN  
101 S BROOKSIDE DR APT 2212  
ROCKWALL, TX 75214

SFR JV-1 2021-1 BORROWER LLC  
C/O. TRICON AMERICAN HOMES LLC  
15771 RED HILL AVE  
TUSTN, CA 92780

SWANSON LADARRION K SR AND DEDRA M  
161 HAVEN RIDGE DR  
ROCKWALL, TX 75032

MEHTA DILIP & TRUPTI  
162 GRANGER DR  
ROCKWALL, TX 75032

ELIZONDO CESAR CAMPOS  
1650 JOHN KING BLVD APT 2503  
ROCKWALL, TX 75032

PRODAHL DALE & KAREN  
1685 PLUMMER DR  
ROCKWALL, TX 75087

LING ROBERT H & JOYCE H  
17736 LILIANA CT  
ROWLAND HEIGHTS, CA 91748

FKH SFR PROPCO B-HLD, LP  
C/O FIRST KEY HOMES LLC  
1850 PARKWAY PLACE SUITE 900  
MARIETTA, GA 30067

TANEV ALEKSANDAR AND MILENA  
1920 CENTER AVE  
MARTINEZ, CA 94553

MORGENSTERN CHRISTIAN  
1957 E. FM 550  
ROCKWALL, TX 75032

DO DAVID KIM  
2206 OAK GROVE CIR  
GARLAND, TX 75040

NEWCOMB RAMON & JOYCE M  
2217 MCCLENDON DR  
ROCKWALL, TX 75032

RODRIGUEZ JAMES TYLER AND  
HOPE SOUL  
223 WEST MADISON AVENUE  
DUMONT, NJ 7628

GREGORY COREY ALAN  
25881 SOUTH 655 RD  
GROVE, OK 74344

RESIDENT  
2902 PAINT BRUSH TRL  
ROCKWALL, TX 75032

RESIDENT  
2905 PAINT BRUSH TRL  
ROCKWALL, TX 75032

NAVARRO DORIS GRAZIELA  
2971 FIREWHEEL DR  
ROCKWALL, TX 75032

RESIDENT  
2977 FIREWHEEL DR  
ROCKWALL, TX 75032

RESIDENT  
C/O. TRICON AMERICAN HOMES LLC  
2983 FIREWHEEL DR  
ROCKWALL, TX 75032

VILLARREAL LUIS J & PATRICIA  
2989 FIREWHEEL DR  
ROCKWALL, TX 75032

STAEV GHINICA  
299 PHEASANT HILL DR  
ROCKWALL, TX 75032

SCRYBA JEREMY  
2995 FIREWHEEL DR  
ROCKWALL, TX 75032

MONTGOMERY STREET HOMES LLC  
300 MONTGOMERY ST SUITE 1200  
SAN FRANCISCO, CA 94104

DESTEFANO LAURIN  
3001 FIREWHEEL DR  
ROCKWALL, TX 75032

RESIDENT  
3002 PAINT BRUSH TRL  
ROCKWALL, TX 75032

RESIDENT  
3008 PAINT BRUSH TRL  
ROCKWALL, TX 75032

DOMUS SANCTUS PARTNERS LLC  
301 WEST AVE #3505  
AUSTIN, TX 78701

CASSTEVENS AARON K  
3014 PAINT BRUSH TRAIL  
ROCKWALL, TX 75032

THOMAS JUSTIN  
3015 PAINT BRUSH TR  
ROCKWALL, TX 75032

ISSA SONIA N  
3018 WINECUP LN  
ROCKWALL, TX 75032

MOHIBULLAH FNU AND  
BRIANDA SANCHEZ  
3020 PAINT BRUSH TRL  
ROCKWALL, TX 75032

VENTURA MANUEL A & OLIMPIA  
3023 PAINT BRUSH TRL  
ROCKWALL, TX 75032

JENNINGS KAREN  
3026 PAINT BRUSH TRAIL  
ROCKWALL, TX 75032

FLOREX ELIA MARINA  
3026 WINECUP LN  
ROCKWALL, TX 75032

RESIDENT  
3027 WINECUP LN  
ROCKWALL, TX 75032

BARNETT ALLEN K & COREY A  
3029 PAINT BRUSH TRL  
ROCKWALL, TX 75032

RESIDENT  
3032 PAINT BRUSH TRL  
ROCKWALL, TX 75032

RESIDENT  
3032 WINECUP LN  
ROCKWALL, TX 75032

C & L REAL ESTATE SERVICES LLC  
3033 WINECUP LANE  
ROCKWALL, TX 75032

HEINEMAN WILLIAM JEFFREY AND  
REBECCA ANN HEINEMAN AND JENNELL  
JAQUAYS  
3038 PAINT BRUSH TRAIL  
ROCKWALL, TX 75032

FIELDEN BILLY J AND CARRIE-ANNE M ZILLIOUX  
AND  
MARY HONIG  
3039 WINECUP LANE  
ROCKWALL, TX 75032

JONES VIVIAN C & CHARLES K  
3040 WINECUP LANE  
ROCKWALL, TX 75032

ROSE CHRISTINA R  
3041 PAINT BRUSH TRL  
ROCKWALL, TX 75032

MEJIA ELIZABETH M  
3044 PAINT BRUSH TRAIL  
ROCKWALL, TX 75032

WALKER HAROLD & BOBBIE  
3045 WINECUP LN  
ROCKWALL, TX 75032

ROSETTA JENNIFER  
3046 WINECUP LN  
ROCKWALL, TX 75032

RESIDENT  
3049 PAINT BRUSH TRL  
ROCKWALL, TX 75032

MALDONADO JAIME EDWARD AND LORILEE  
3050 PAINT BRUSH TRAIL  
ROCKWALL, TX 75087

MINGUZZI DOMINIC  
3051 WINECUP LN  
ROCKWALL, TX 75032

FELDBOUSEN RODNEY & LORNA  
3052 WINECUP LN  
ROCKWALL, TX 75032

GOMEZ MACKENZIE GRACE AND  
JARED DANIEL FULTON  
3055 WILDFLOWER WAY  
ROCKWALL, TX 75032

JEFFREY RUSSELL DEAN  
3057 WINECUP LN  
ROCKWALL, TX 75032

CORTINAS KARINA &  
RUBEN MORIN  
3058 WINECUP LN  
ROCKWALL, TX 75032

RESIDENT  
3063 WILDFLOWER WAY  
ROCKWALL, TX 75032

RESIDENT  
3064 WINECUP LN  
ROCKWALL, TX 75032

JULIAN DEBORAH KAY  
3065 WINECUP LN  
ROCKWALL, TX 75032

VALENTINE DEQUANISHA  
3066 WILDFLOWER WAY  
ROCKWALL, TX 75032

ATEN COURTNEY  
3070 WINECUP LN  
ROCKWALL, TX 75032

WHEELER SKY AND ALEXIS  
3071 WILDFLOWER WAY  
ROCKWALL, TX 75032

CLEMMONS JACKIE L & VANESSA D  
3073 WINECUP LN  
ROCKWALL, TX 75032

McFARLAND RODERIC B  
3074 WILDFLOWER WAY  
ROCKWALL, TX 75032

MAH JEFFERY  
3076 WINECUP LANE  
ROCKWALL, TX 75032

MARSHALL WILLIAM E  
3077 WILDFLOWER WAY  
ROCKWALL, TX 75032

BARNETT VIRGINIA M  
3080 WILDFLOWER WAY  
ROCKWALL, TX 75032

RESIDENT  
3081 WINECUP LN  
ROCKWALL, TX 75032

RESIDENT  
3082 WINECUP LN  
ROCKWALL, TX 75032

RESIDENT  
3083 WILDFLOWER WAY  
ROCKWALL, TX 75032

ELLIOTT PAULA C  
3086 WILDFLOWER WAY  
ROCKWALL, TX 75032

RESIDENT  
3087 WINECUP LN  
ROCKWALL, TX 75032

HALL MARJORIE  
3089 WILDFLOWER WAY  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

RICHARDSON ELIZABETH ANN  
3090 WINECUP LANE  
ROCKWALL, TX 75032

RESIDENT  
3092 WILDFLOWER WAY  
ROCKWALL, TX 75032

RESIDENT  
3095 WILDFLOWER WAY  
ROCKWALL, TX 75032

RESIDENT  
3098 WILDFLOWER WAY  
ROCKWALL, TX 75032

CANETTY CHAYRA SANCHEZ  
3101 WILDFLOWER WAY  
ROCKWALL, TX 75032

HUSTON RICKY RICHARD  
3104 WILDFLOWER WAY  
ROCKWALL, TX 75032

520 LAKESIDE LLC  
3105 CORNELL AVE  
DALLAS, TX 75205

RESIDENT  
3107 WILDFLOWER WAY  
ROCKWALL, TX 75032

SEVERS TIMOTHY & SHEILA L SETRINA  
3115 WILDFLOWER WAY  
ROCKWALL, TX 75032

COOPER TERESA L  
3123 WILDFLOWER WAY  
ROCKWALL, TX 75032

RESIDENT  
3129 WILDFLOWER WAY  
ROCKWALL, TX 75032

PRICE TIMOTHY F & DIANA M  
3137 WILDFLOWER WAY  
ROCKWALL, TX 75032

OPENDOOR PROPERTY TRUST I, A DELAWARE  
STATUTORY TRUST  
410 N SCOTTSDALE RD SUITE 1600  
TEMPE, AZ 85281

GRAVES DANIEL W  
4229 BLUFFVIEW BLVD  
DALLAS, TX 75209

CARPENTIER GREGORY D  
4309 DRIFTWOOD DR  
PLANO, TX 75074

RAMOS JOSE ALEJANDRO AND  
NANCY H CASTILLO ALVARENGA  
601 PRIMROSE LN  
ROCKWALL, TX 75032

RESIDENT  
604 NORWOOD DR  
ROCKWALL, TX 75032

KELLEY KYLE E AND AMY E  
606 PRIMROSE LANE  
ROCKWALL, TX 75032

UPCHURCH JASON AND JESSICA  
607 PRIMROSE LN  
ROCKWALL, TX 75032

RENDON NOEL & CHRISTIE  
607 W BROAD ST  
MANSFIELD, TX 76063

RESIDENT  
C/O FIRST KEY HOMES LLC  
608 NORWOOD DR  
ROCKWALL, TX 75032

RESIDENT  
HOPE SOUL  
612 NORWOOD DR  
ROCKWALL, TX 75032

GORDON ANTHONY W  
612 PRIMROSE LN  
ROCKWALL, TX 75032

DAVIS MARLON J  
613 PRIMROSE LN  
ROCKWALL, TX 75032

OWUSU CLEMENT A & VERONICA D  
616 NORWOOD DR  
ROCKWALL, TX 75032

LAY SYLVIA J  
619 PRIMROSE LN  
ROCKWALL, TX 75032

HEUMAN TERRY AND DIANA  
620 NORWOOD DRIVE  
ROCKWALL, TX 75032

RESIDENT  
A SERIES OF RDMS PROPERTIES  
625 PRIMROSE LN  
ROCKWALL, TX 75032

GONZALEZ RENE MURILL AND MARIA ISABEL  
631 PRIMROSE LANE  
ROCKWALL, TX 75032

RESIDENT  
A SERIES OF RDMS PROPERTIES  
637 PRIMROSE LN  
ROCKWALL, TX 75032

MUNOZ FELIPE V & CONSUELO C  
643 PRIMROSE LN  
ROCKWALL, TX 75032

MARTINEZ ELSBETH IONE  
653 PRIMROSE LANE  
ROCKWALL, TX 75032

CARLIER JEFFREY ALLEN  
661 PRIMROSE LN  
ROCKWALL, TX 75032

BLANKENSHIP MICHAEL E & BERTHA G  
702 GLENHURST DR  
ROCKWALL, TX 75032

RESIDENT  
703 PRIMROSE LN  
ROCKWALL, TX 75032

RESIDENT  
708 GLENHURST DR  
ROCKWALL, TX 75032

GEORGE POLLY A & BENJAMIN E  
709 BLUEBELL CT  
ROCKWALL, TX 75032

LEBLANC BRIAN AND AARON SALAZAR  
709 PRIMROSE LN  
ROCKWALL, TX 75087

TURNER LAQUITTA L  
710 BLUEBELL CT  
ROCKWALL, TX 75032

RESIDENT  
714 GLENHURST DR  
ROCKWALL, TX 75032

RIDDLE LINDA K  
715 BLUEBELL CT  
ROCKWALL, TX 75032

RODRIGUEZ ANDRES M  
715 PRIMROSE LN  
ROCKWALL, TX 75032

RESIDENT  
718 BLUEBELL CT  
ROCKWALL, TX 75032

RESIDENT  
720 GLENHURST DR  
ROCKWALL, TX 75032

JONES JAMES & MARY  
721 BLUEBELL CT  
ROCKWALL, TX 75032

HARRIS CHAD &  
MISTY PIERCE  
721 PRIMROSE LN  
ROCKWALL, TX 75032

RESIDENT  
727 PRIMROSE LN  
ROCKWALL, TX 75032

BRIDGMAN SHAWN AND RENEE  
728 PRIMROSE LN  
ROCKWALL, TX 75032

GULICK ANNA C  
734 PRIMROSE LN  
ROCKWALL, TX 75032

TIPPING DORA MARIA  
735 PRIMROSE LN  
ROCKWALL, TX 75032

WHITE CODY  
7828 OLD HICKORY DR  
N RICHLAND HILLS, TX 76182

ROBINSON DAVID J  
819 SUNFLOWER TR  
ROCKWALL, TX 75032

CHEN CHAI  
825 HARLAN CT  
MURPHY, TX 75094

PEREZ ALBERTO M  
827 SUNFLOWER TRL  
ROCKWALL, TX 75032

GONZALES RUBEN M JR & SUSAN  
833 SUNFLOWER TRL  
ROCKWALL, TX 75032

RESIDENT  
841 SUNFLOWER TRL  
ROCKWALL, TX 75032

VAUGHN TAYLOR LEIGHANN  
842 SUNFLOWER TRAIL  
ROCKWALL, TX 75032

HANG NHIA JING & FONG  
850 SUNFLOWER TRAIL  
ROCKWALL, TX 75032

AMH 2014-3 BORROWER LLC  
ATTN: PROPERTY TAX DEPARTMENT 23975  
PARK SORRENTO SUITE 300  
CALABASAS, CA 91302

ARP 2014-1 BORROWER LLC  
ATTN: PROPERTY TAX DEPARTMENT 23975  
PARK SORRENTO , SUITE 300  
CALABASAS, CA 91302

WELBORN W L  
P.O. BOX 968  
MABANK, TX 75147

HUGHES SUZANN G  
PO BOX 1347  
ROCKWALL, TX 75087

RDMS PROPERTIES LLC- SERIES K (RS)  
A SERIES OF RDMS PROPERTIES  
PO BOX 1569  
ROCKWALL, TX 75087

RDMS PROPERTIES LLC-SERIES J (RS)  
A SERIES OF RDMS PROPERTIES  
PO BOX 1659  
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 19 LLC  
PO BOX 4090  
SCOTTSDALE, AZ 85261

RESZI DFW ACQ I LLC  
PO BOX 4980  
LAGUNA BEACH, CA 92652

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2023-025: SUP for Accessory Building

Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

### Case No. Z2023-025: SUP for Accessory Building

Please place a check mark on the appropriate line below:

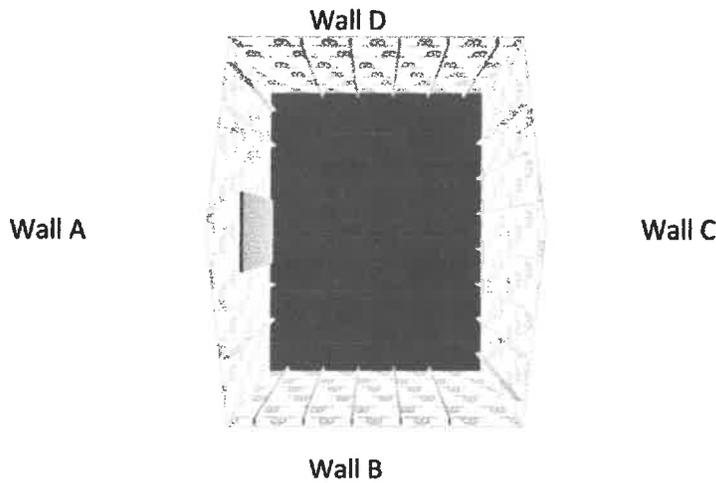
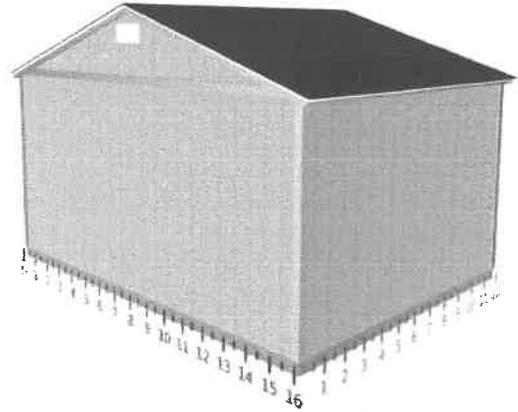
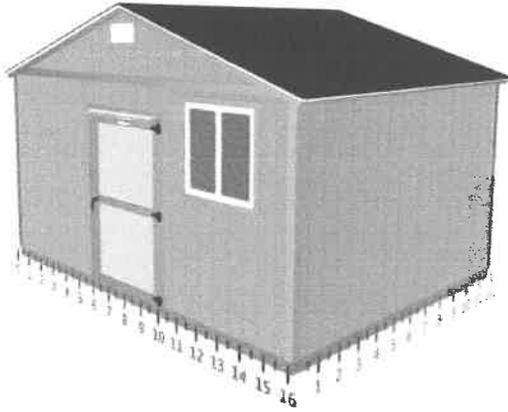
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**Base Details**

**Building Size & Style**  
 TR-800 - 16' wide by 12' long

**Door**  
 4' x 6'7" Single Shed Door, Right Hinge Placement, Decorative Door Hardware, Drip Cap

**Paint Selection**  
 Base: No Paint, Trim: No Paint

**Roof Selection**  
 Charcoal Dimensional Premium Shingle

**Drip Edge**  
 White

**Is a permit required for this job?**  
 Yes

**Who is pulling the permit?**  
 Tuff Shed

**Options Details**

**Windows**  
 3'x3' Insulated Horizontal Sliding Window

**Walls**  
 473 Sq Ft House Wrap

**Roof**  
 215 Sq Ft Radiant Barrier Roof Decking

**Floor and Foundation**  
 192 Sq Ft 3/4" Treated Floor Decking Upgrade  
 8 Ea Shed Anchor to Concrete - A24 & Wedge Anchor

**Vents**  
 2 Ea 16"x8" Wall Vent - White

**Jobsite/Installer Details**

**Do you plan to insulate this building after Tuff Shed installs it?**  
 Yes

**Is there a power outlet within 100 feet of installation location?**  
 Yes

**The building location must be level to properly install the building. How level is the install location?**  
 Within 4" of level

**Will there be 18" of unobstructed workspace around the perimeter of all four walls?**  
 Yes

**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**  
 Yes

**Substrate Shed will be installed on?**  
 Anchored to Concrete with Shed Floor

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



WxLxH*	Base	w/Paint	Monthly* Finance
10'x12'x10'3"	\$3,049	\$3,379	\$48
10'x16'x10'3"	\$3,699	\$4,029	\$58
10'x20'x10'3"	\$4,310	\$4,640	\$68
12'x12'x10'7"	\$3,559	\$3,989	\$56
12'x16'x10'7"	\$4,299	\$4,729	\$67
12'x20'x10'7"	\$4,999	\$5,429	\$78
12'x24'x10'7"	\$5,739	\$6,169	\$90
16'x20'x11'3"	\$6,529	\$7,109	\$102
16'x24'x11'3"	\$7,449	\$8,029	\$117

16x12x  
11'3"  
SHED

### Sundance Series TR-800

8' sidewall height allows more overhead room and taller 4x6'7" door, placed on any wall. Upgrades shown: double door, door trim, in-door transoms, 3'x3' windows, shutters, dimensional shingles, 6/12 roof pitch, endwall eaves, and paint. Can accommodate sidewall porch upgrade.

- 6" Tall Galvanized Steel Foundation
- 4'x6'7" Steel Reinforced Tuff Shed Door
- Endwall or Sidewall Door Placement
- 7'8" Clear Interior Sidewall Height
- 16" On Center 2x4 Wall Framing
- 6" Block Sidewall Eave



### Sundance Series TB-800

Maximize your storage space with another foot of sidewall height and more overhead room. The 8'3" sidewalls allow for 4'x6'7" door placed on any wall. Shown above with double door, 3'x2' window, vent, dimensional shingle and paint upgrades. This model can also accommodate porch and 2nd Floor upgrades (see info. at right).

#### Single Floor

- 4'x6'7" Steel Reinforced Tuff Shed Door
- Endwall or Sidewall Door Placement
- 7'8" Clear Interior Sidewall Height
- 16" On Center 2x4 Wall Framing
- 3" Flat Sidewall Eave (Single Floor)

#### 2nd Floor Upgrade With Stairs

- 6" Boxed Eaves
- 2x6 Treated Wood Foundation

WxLxH*	Base	w/Paint	Monthly* Finance
12'x12'x14'6"	\$4,625	\$5,075	\$73
12'x16'x14'6"	\$5,099	\$5,549	\$90
12'x20'x14'6"	\$5,919	\$6,369	\$93
12'x24'x14'6"	\$6,739	\$7,189	\$106
16'x20'x16'6"	\$8,868	\$9,508	\$139
16'x24'x16'6"	\$10,199	\$10,839	\$150

WxLxH*	Base	w/Paint	Monthly* Finance
16'x16'x18'3"	\$12,364	\$13,004	\$193
16'x20'x18'3"	\$14,286	\$14,926	\$223
16'x24'x18'3"	\$16,277	\$16,917	\$254
16'x28'x18'3"	\$17,919	\$18,559	\$280
16'x32'x18'3"	\$19,725	\$20,365	\$308
18'x20'x18'3"	\$17,174	\$18,073	\$268
18'x24'x18'3"	\$19,475	\$20,374	\$304
18'x28'x18'3"	\$21,835	\$22,734	\$341
18'x32'x18'3"	\$24,095	\$24,994	\$378
18'x36'x18'3"	\$26,401	\$27,300	\$412

SITTING ON OUR FLOOR  
ON TOP OF AN EXISTING  
SLAB - ANCHORED INTO  
CONCRETE

# SURVEY PLAT

**BARRY S. RHODES** Registered Professional Land Surveyor (072) 475-8940

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. **3085 WINECUP LANE** in the city of **ROCKWALL**, Texas.

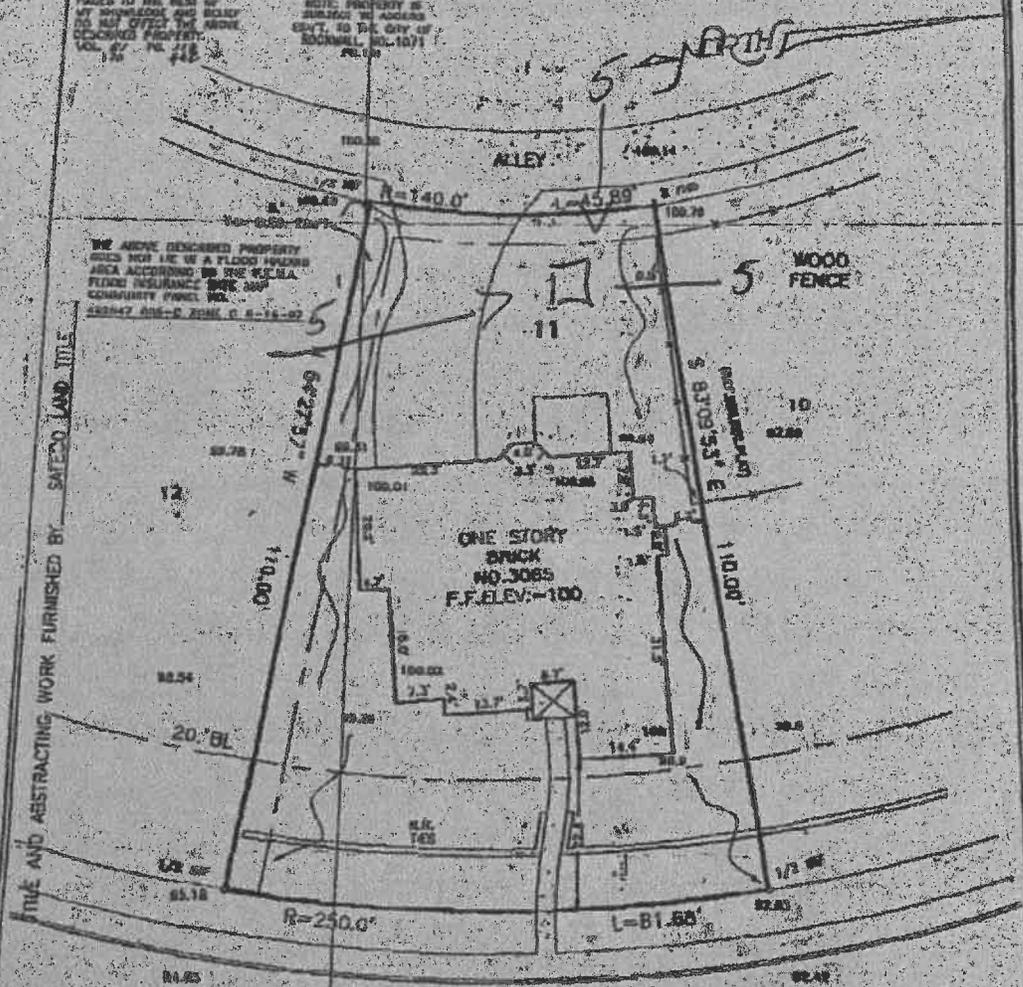
Lot No. **11** Block No. **C** City Block No. **11** on addition to the City of **ROCKWALL**, TEXAS according to the **PLAT** records of **ROCKWALL** COUNTY, TEXAS.

in **CABINET C** of **SLICE 391-302** of the **PLAT** records of **ROCKWALL** COUNTY, TEXAS.

WHEN TAKEN IN CONNECTION WITH THE CERTIFICATE OF CORRECTION BY **HAROLD EVANS**, ROCKWALL COUNTY, TEXAS.

CASEMENTS RECORDED IN THE FOLLOWING VOLUMES & PAGES TO THE BEST OF MY KNOWLEDGE AND BELIEF DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY:  
VOL. 87, PG. 278  
170  
445

NOTE: PROPERTY IS SUBJECT TO ADDRESS 5071, TO THE CITY OF ROCKWALL, TEXAS.



TITLE AND ABSTRACTING WORK FURNISHED BY: SAFECO LAND TITLE

## WINECUP LANE

The plat herein is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat, the site, location, and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'  
 Date: 12-7-99  
 O. F. No.: 15390  
 Job no.: 64787  
 Drawn by: R.G.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR SAFECO LAND TITLE  
 USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDISCOUNTED IS NOT RESPONSIBLE TO OWNERS FOR ANY LOSS RESULTING THEREFROM.



*[Handwritten signature]*

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN *ACCESSORY STRUCTURE* ON A 0.1515-ACRE PARCEL OF LAND IDENTIFIED AS LOT 11, BLOCK C, HIGHLAND MEADOWS #1 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 0.1515-acre parcel of land, addressed as 3065 Winecup Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of an *Accessory Structure* on the *Subject Property* shall generally conform to the *Building Elevations and Accessory Structure Details* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Accessory Structure* shall be built on an engineered concrete foundation that will support the weight of the proposed structure.
- (4) The *Accessory Structure* shall meet the zoning district building setback requirements for an *Accessory Structure*.
- (5) The *Accessory Structure* shall not exceed a maximum building footprint or size of 200 SF.
- (6) The maximum height of the *Accessory Structure* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (7) The *Accessory Structure* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 17<sup>th</sup> DAY OF JULY, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: June 19, 2023

2<sup>nd</sup> Reading: July 17, 2023

**Exhibit 'A'**  
**Location Map and Legal Description**

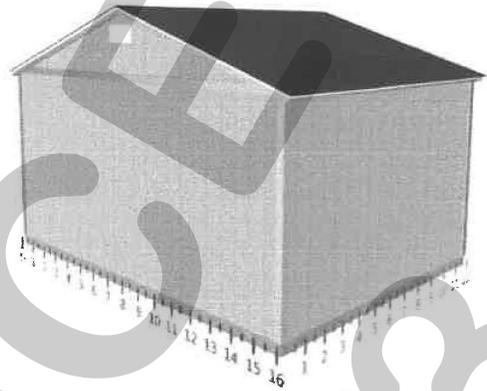
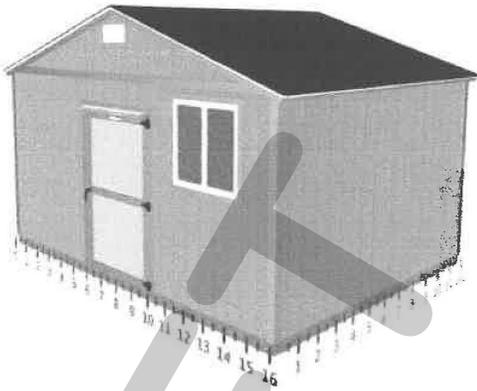
Address: 3065 Winecup Lane

Legal Description: Lot 11, Block C, Highland Meadows #1 Addition

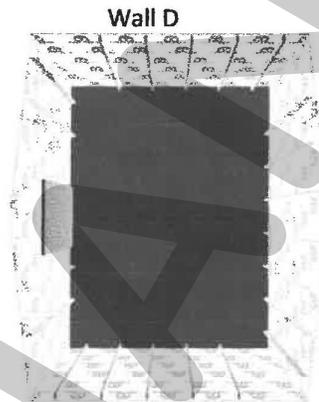




**Exhibit 'C':**  
*Building Elevations & Accessory Structure Details*



Wall A



Wall D

Wall B

Wall C

**Base Details**

**Building Size & Style**  
TR-800 - 16' wide by 12' long

**Door**  
4' x 6'7" Single Shed Door, Right Hinge Placement, Decorative Door Hardware, Drip Cap

**Paint Selection**  
Base: No Paint, Trim: No Paint

**Roof Selection**  
Charcoal Dimensional Premium Shingle

**Drip Edge**  
White

**Is a permit required for this job?**  
Yes

**Who is pulling the permit?**  
Tuff Shed

**Options Details**

**Windows**  
3'x3' Insulated Horizontal Sliding Window

**Walls**  
473 Sq Ft House Wrap

**Roof**  
215 Sq Ft Radiant Barrier Roof Decking

**Floor and Foundation**  
192 Sq Ft 3/4" Treated Floor Decking Upgrade  
8 Ea Shed Anchor to Concrete - A24 & Wedge Anchor

**Vents**  
2 Ea 16"x8" Wall Vent - White

**Jobsite/Installer Details**

**Do you plan to insulate this building after Tuff Shed installs it?**  
Yes

**Is there a power outlet within 100 feet of installation location?**  
Yes

**The building location must be level to properly install the building. How level is the install location?**  
Within 4" of level

**Will there be 18" of unobstructed workspace around the perimeter of all four walls?**  
Yes

**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**  
Yes

**Substrate Shed will be installed on?**  
Anchored to Concrete with Shed Floor



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 13, 2023  
**APPLICANT:** Gerzim Daniel  
**CASE NUMBER:** Z2023-026; *Zoning Change from Agricultural (AG) District to a Single-Family 16 (SF-16) District*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-16) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

### BACKGROUND

The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [i.e. Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to Rockwall Central Appraisal District, there is an 804-SF residential home and a 150-SF accessory building that were constructed on the property in 1975. Additionally, there was a 450-SF shop added in 1985; however, the applicant has been issued a *Demolition Permit [i.e. Permit No. RES2023-395]* to remove the existing structures. No other changes have been made to the subject property since annexation.

### PURPOSE

On May 19, 2023, the applicant -- *Gerzim Daniel* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Single-Family 16 (SF-16) District for the purpose of constructing a single-family home.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2065 Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is one (1) residential lot (*i.e. 2075 Airport Road*) that forms part of the Epton Subdivision, which consists of three (3) residential lots on 2.93-acres of land zoned Single-Family 1 (SF-1) District. Beyond this is one (1) residential lot (*i.e. 556 Stodghill Road*) with a single-family home situated on it and that is zoned Single-Family Estate 1.5 (SFE-1.5) District. North of these properties is a 15.159-acre tract of land belonging to Eastridge Church of Christ that is zoned Agricultural (AG) District.

South: Directly south of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.512-acre tract of land that is vacant (*i.e. 2000 Airport Road*). South of this is a 36.56-acre tract that is also vacant and is zoned Agricultural (AG) District. Beyond this is Justin Road, which is identified as an A4D on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) residential lots (*i.e. 2067 and 2075 Airport Road*) that are a part of the Epton Addition and that are zoned Single-Family 1 (SF-1) District. Beyond this are four (4) additional residential lots (*i.e. 2155 & 2165 Airport Road and 516 & 544 Stodghill Road*) that are zoned Agricultural (AG) District.

West: Directly west of the subject property are three (3) residential lots (*i.e.* 331, 401, and 405 Fox Hollow Drive), which are part of the Ridgcrest Subdivision. These properties are zoned Planned Development District 81 (PD-81), which consists of 42 residential lots on 28.94-acres. Beyond this is Fox Hollow Drive, which is identified as an R2 (*i.e.* residential, two (2) lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**CHARACTERISTICS OF THE REQUEST**

The applicant is requesting to rezone the 0.93-acre parcel of land from an Agricultural (AG) District to a Single-Family 16 (SF-16) District for the purpose of constructing a single-family home. It should be noted, that if this zoning change is approved, the applicant will not be required to apply for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of the future home because the Ridgcrest Subdivision does not meet the criteria for an established subdivision. Specifically, it was established in 2016 and has not been in existence for ten (10) years.

**CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 03.06, *Single-Family 16 (SF-16) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family 16 (SF-16) District is the proper zoning classification for larger lot, single-family developments ... (t)hese developments are typically in areas buffered from non-residential land uses and where they will serve as a logical transition from higher to lower density residential zoning districts." In this case, the properties adjacent to Airport Road are zoned Single-Family 1 (SF-1) District, Agricultural (AG) District and Planned Development District 81 (PD-81). Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family 16 (SF-16) District, which are summarized as follows:

*TABLE 1: SINGLE-FAMILY 16 (SF- 16) DISTRICT DEVELOPMENT STANDARDS*

<i>Number of Dwelling Units/Lot</i>	<i>1.0</i>
<i>Number of Dwelling Units/Acre</i>	<i>2.7</i>
<i>Minimum Dwelling Unit</i>	<i>2,400 SF</i>
<i>Minimum Lot Area</i>	<i>16,000 SF</i>
<i>Minimum Lot Width</i>	<i>90-Feet</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>
<i>Minimum Side Yard Setback</i>	<i>8-Feet</i>
<i>Between Buildings</i>	<i>10-Feet</i>
<i>Building Height</i>	<i>36-Feet</i>
<i>Maximum Lot Coverage</i>	<i>45%</i>
<i>Required Parking Spaces</i>	<i>2</i>

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Central District and is designated for Low Density Residential land uses. The Low Density Residential land use is defined as "...residential subdivisions that are two (2) units per gross acre or less ...". Based on this the proposed zoning change does not conform to the Comprehensive Plan (*i.e.* 2.7 dwelling units per acre is characteristic of the Medium Density Residential land use classification); however, the applicant is only proposing one (1) lot on 0.93-acres, which would be in compliance with the density requirements. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (*i.e.* 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. In this case, the proposed zoning change conforms to the residential designation on the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan -- *which was designed around the desired 80%/20% land use ratio* -- and will not change this ratio. Based on this the proposed zoning change does not affect the current residential to non-residential percentage.

## **NOTIFICATIONS**

On May 24, 2023, staff notified 33 property owners and occupants within 500-feet of the subject property. Staff also notified the Rolling Meadows Estates Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had received one (1) notice in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Single-Family 16 (SF-16) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 2065 AIRPORT ROAD, ROCKWALL, TX 75087

SUBDIVISION A0077 EM ELLOTT LOT TRACT 17 BLOCK

GENERAL LOCATION

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING AG CURRENT USE  
 PROPOSED ZONING SF 16 PROPOSED USE SINGLE FAMILY HOME  
 ACREAGE .93 LOTS [CURRENT] LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input checked="" type="checkbox"/> OWNER	GERZIM DANIEL	<input checked="" type="checkbox"/> APPLICANT	GERZIM DANIEL
CONTACT PERSON	GERZIM DANIEL	CONTACT PERSON	GERZIM DANIEL
ADDRESS	2067 AIRPORT ROAD	ADDRESS	2067 AIRPORT ROAD
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	ROCKWALL, TX 75087
PHONE	214-243-9668	PHONE	214-243-9668
E-MAIL	gerzim@hotmail.com	E-MAIL	gerzim@hotmail.com

**NOTARY VERIFICATION [REQUIRED]**

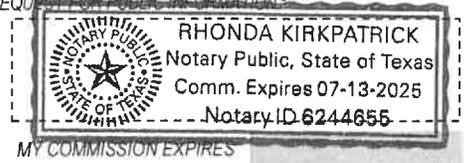
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GERZIM DANIEL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

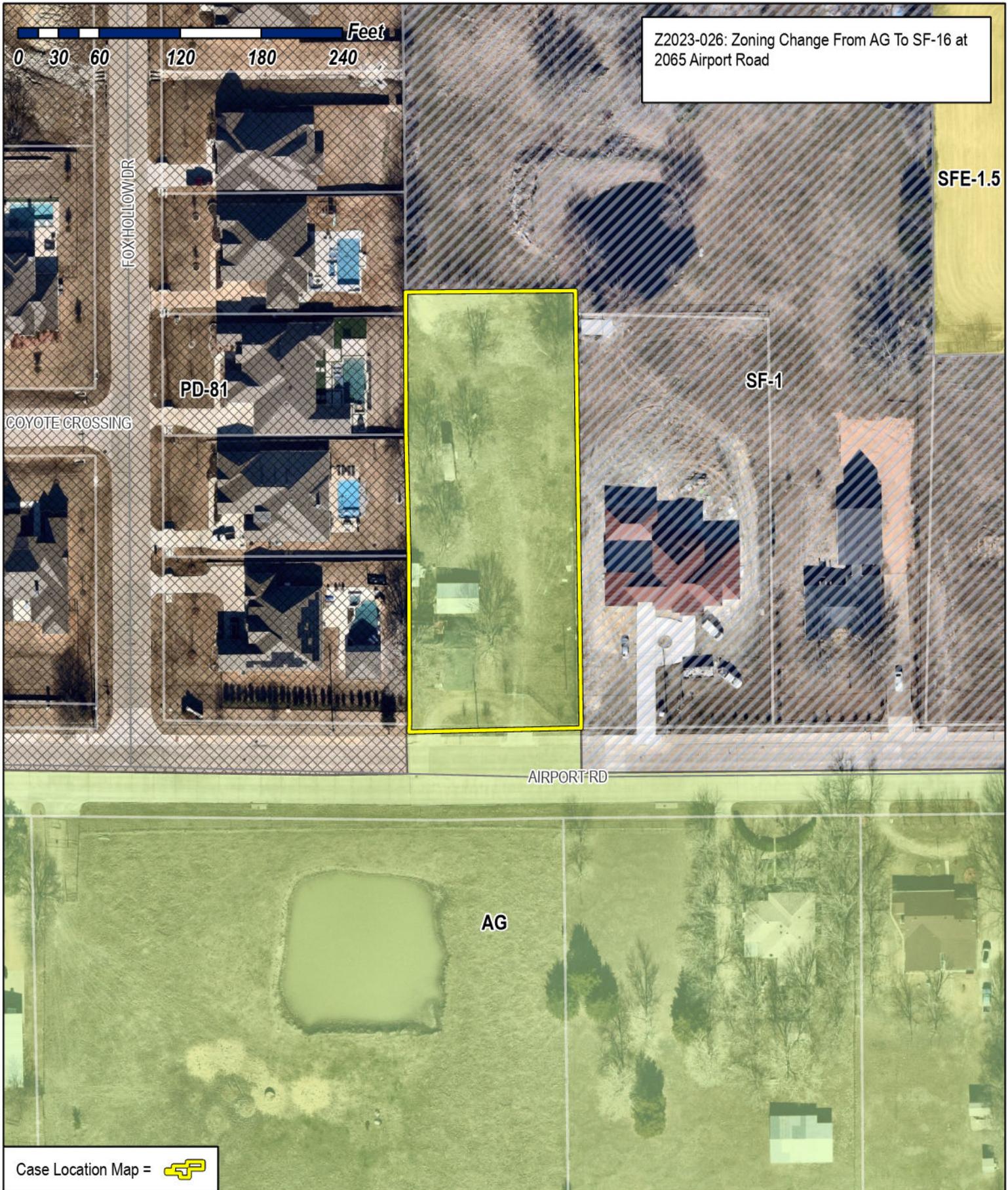
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF May, 2023.

OWNER'S SIGNATURE Gerzim Daniel

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Alz





Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

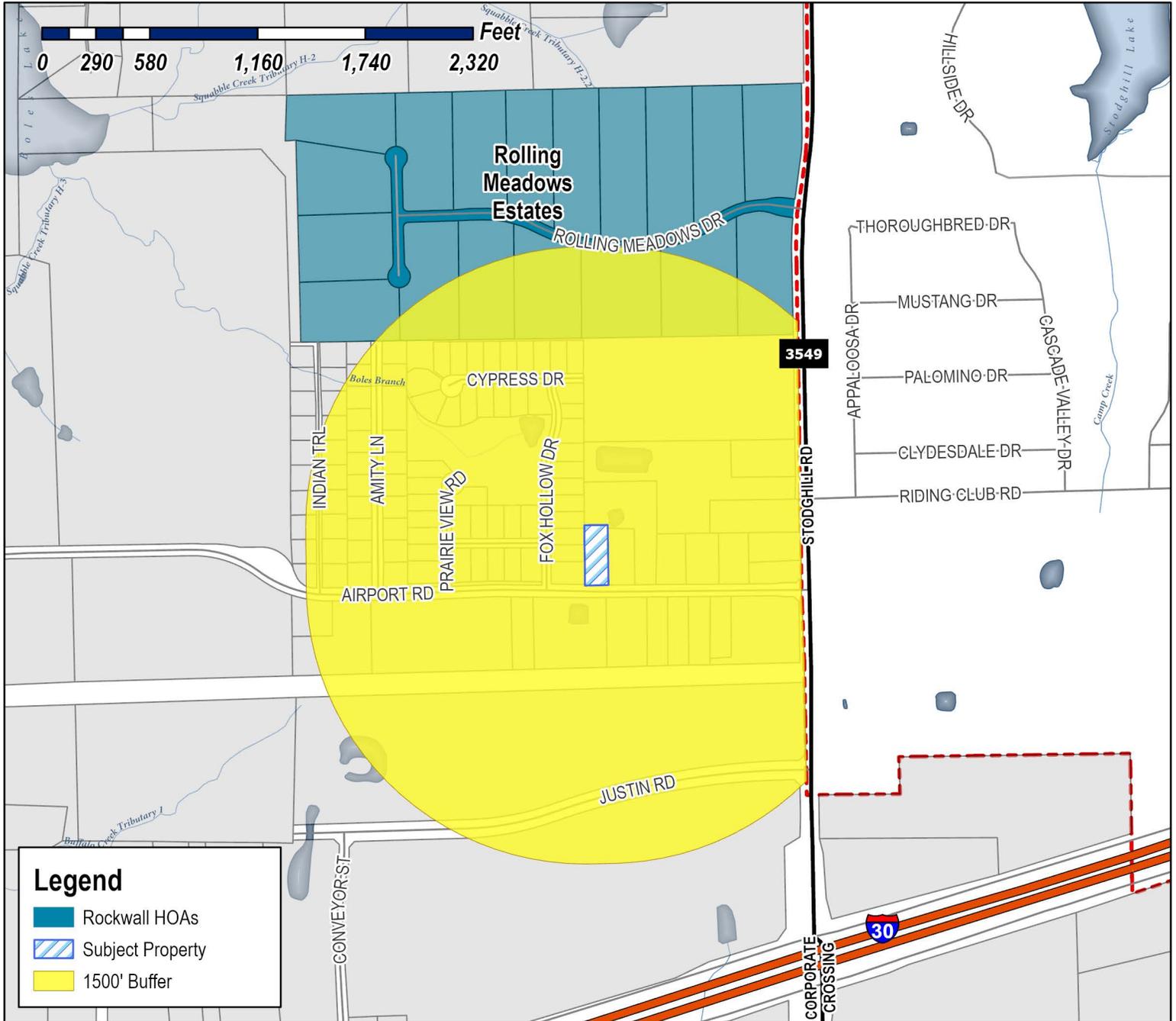




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**Case Number:** Z2023-026  
**Case Name:** Zoning Change from AG to SF-16  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 2065 Airport Road

**Date Saved:** 5/23/2023  
 For Questions on this Case Call (972) 771-7745



## Guevara, Angelica

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, May 23, 2023 3:21 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Program [Z2023-026]  
**Attachments:** Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-026: Zoning change From AG to SF-16**

Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family 16 (SF-10) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

Thank You,  
Melanie Zavala  
Planning Coordinator  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-771-6568



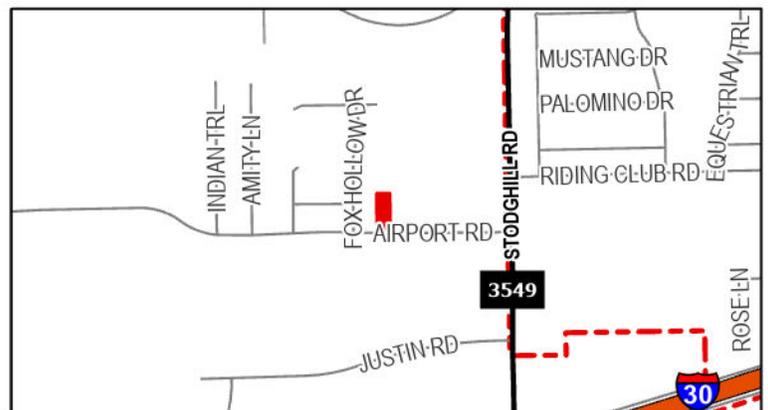
# City of Rockwall

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**Case Number:** Z2023-026  
**Case Name:** Zoning Change from AG to SF-16  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 2065 Airport Road



**Date Saved:** 5/17/2023

For Questions on this Case Call: (972) 771-7746

RIDGECREST HOMEOWNERS ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

SPRINGER JOHN STANLEY  
2000 AIRPORT RD  
ROCKWALL, TX 75087

SPRINGER OUIDA R MRS  
2000 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
ROBERT M (MIKE) DOUGLAS  
2065 AIRPORT RD  
ROCKWALL, TX 75087

SCHUELER BARBARA JEAN AND  
MARK SCHUELER  
2070 AIRPORT RD  
ROCKWALL, TX 75087

EPTON JEREMY L  
2075 AIRPORT RD  
ROCKWALL, TX 75087

STANDLEY VEANETA TRUSTEE  
OF THE VEANETA B STANDLEY FAMILY TR  
2080 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
2140 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
2150 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
2155 AIRPORT RD  
ROCKWALL, TX 75087

SHIM SUSAN AND HENRY  
2611 COYOTE CROSSING  
ROCKWALL, TX 75087

BOYD BILL A & MONICA L MOORE  
2612 COYOTE CROSSING  
ROCKWALL, TX 75087

DODD TIMMY LAVELL AND JAMIE CHRISTINE  
2615 COYOTE CROSSING  
ROCKWALL, TX 75087

GHORMLEY TIM W & LINDA C  
2616 COYOTE CROSSING  
ROCKWALL, TX 75087

DE MEYER GUILAUME & JIRAPORN HEEPKAEW  
2619 COYOTE CROSSING  
ROCKWALL, TX 75087

GARCIA CESAR G & SANDRA CORNEJO  
JUAN M CORNEJO SR & AIDA  
2620 COYOTE CROSSING  
ROCKWALL, TX 75087

JOHNSON THOMAS L AND PEGGY M  
307 FOX HOLLOW DR  
ROCKWALL, TX 75087

SPARLING KIRK D AND DARLA  
311 FOX HOLLOW DR  
ROCKWALL, TX 75087

RESIDENT  
312 FOX HOLLOW DR  
ROCKWALL, TX 75087

PLUNK TIMOTHY D AND CHRISTY A  
315 FOX HOLLOW DRIVE  
ROCKWALL, TX 75087

LAPEYROLERIE ANDRE J & PAMELA A  
319 FOX HOLLOW DR.  
ROCKWALL, TX 75087

HEIDMAN ANGELA DAWN AND JOHN SCOTT  
323 FOX HOLLOW DR  
ROCKWALL, TX 75087

SHARKEY LOGAN & LACEY  
327 FOX HOLLOW DRIVE  
ROCKWALL, TX 75087

LAMB JESSICA LAUREN AND  
SUZANNE KATHLEEN ROBINSON  
331 FOX HOLLOW DR  
ROCKWALL, TX 75087

FARROW JAMEY LAMONT AND MARJORIE  
MURAT  
401 FOX HOLLOW DRIVE  
ROCKWALL, TX 75087

HESTER WILLARD JR AND CHRISTY L  
405 FOX HOLLOW DR  
ROCKWALL, TX 75087

RESIDENT  
556 FM3549 STODGHILL RD  
ROCKWALL, TX 75087

LAKESIDE CHURCH OF CHRIST OF RW  
C/O EASTRIDGE CHURCH OF CHRIST  
670 STODGHILL RD  
ROCKWALL, TX 75087

LARSON JUDY K  
P.O. BOX 133  
FATE, TX 75132

WATKINS THOMAS FRANK AND MARY ELLEN  
P.O. BOX 336  
FATE, TX 75132

WHD FAMILY TRUST  
ROBERT M (MIKE) DOUGLAS  
PO BOX 180  
ST LOUIS, OK 74866

GRIFFIN PATTY JEAN CORNELIUS  
PO BOX 511  
FATE, TX 75132

GRIFFIN PATTY C & J T  
PO BOX 511  
FATE, TX 75132

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-026: Zoning change from AG to SF-16**

Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-10) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-026: Zoning Change from AG to SF-16**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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**Z2023-026: Zoning change from AG to SF-16**

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Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-026: Zoning Change from AG to SF-16**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Blad to have new neighbors.

Name: Judy Larson  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gerzim Daniel  
2067 Airport Road  
Rockwall, TX 75087

May 16, 2023

To the planning and zoning  
City of Rockwall

Ref: Zoning change request letter

I Gerzim Daniel, the property owner of 2065 Airport Rd. Rockwall, TX 75087, am requesting the zoning change for this property from AG to SF16. When I bought this property last September, there was a house on the lot, which I demolished (please see the attached demolishing permit).

I, with this letter, am asking the city of Rockwall to change the zoning, so that I can put a single-family home in the future.



Thanks,  
Gerzim Daniel



9.033 ACRES

1/2 IRS  
1.0'

S 88° 34' 38" E 125.00'

POND

1/2 IRS

0/H ELEC LINE

1.00 ACRE

DELORIS E. AND BOBBY H. DOUGLAS  
TO  
WILL H. DOUGLAS  
V. 1525. P. 60

LOT 2

LOT 1

ROCKWALL LAKESIDE CHURCH  
OF CHRIST ADDITION  
CAB. F. SLIDE 72

5.2 ACRES  
FRANK J. AND LOIS MARIE HOLT  
TO  
J.E. AND DELORIS ESTELL PARKER  
V. 68. P. 291

N 1° 09' 28" E 348.00'

S 1° 09' 28" W 348.00'

2.9'

30.0  
20.0  
BLD

72.5'

2.4'

WOOD DECK  
20.3

76.2'

RESIDENCE  
2065 AIRPORT ROAD

WOOD DECK  
37.5

41.7

4.0

16.3

76.8'

4.0

GRAVEL DRIVE

ELEC

76.8'

1/2" IRS  
AT 20.00'

GUY WIRE  
O/H ELEC LINE

1/2" IRS  
AT 328.00'

AIRPORT

PK FND

N 88° 34' 38" W 125.00'

PK SET

ROAD

BEGINNING

2065 Airport Road

SURVEY ACCEPTED BY:

DATE

DATE

**DESCRIPTION**

That certain lot, tract or parcel of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. [unclear] City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a warranty deed from Deloris E. Douglas and Bobby H. Douglas to Will H. Douglas, dated December 10, 1983 and being recorded in Volume 1525, Page 60 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a P-K nail found for corner in the center of Airport Road, said point being at the southwest corner of the above cited tract of land;

THENCE N. 01 deg. 09 min. 28 sec. E., at 20.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for witness and continuing for a total distance of 348.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE S. 88 deg. 34 min. 38 sec. E. a distance of 125.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE S. 01 deg. 09 min. 28 sec. W., at 328.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for witness and continuing for a total distance of 348.00 feet to a P-K nail set in the center of Airport Road;

THENCE N. 88 deg. 34 min. 38 sec. W. along the center of Airport Road, a distance of 125.00 feet to POINT OF BEGINNING and containing 1.00 acres of land.

**NOTES**

According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480543 0045 B dated September 17, 1980, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

HEARING SOURCE: RECORDED PLAT.

ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

**SURVEYOR'S CERTIFICATE**

Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for WILL H. DOUGLAS at 2065 AIRPORT ROAD, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 7th day of June, 2005.

*[Signature]*  
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
⊙	⊕	☎	⚡	⊕
TV	GAS	TEL	FH	PP
TELEVISION	GAS	PHONE	FIRE	POWER
CABLE RISER	METER	RISER	HYDRANT	POLE
▲	⊠	⊗	○	○
ELEC	TU ELEC	WM	1/2" IRF	IRF
METER	BOX	METER	ROD	ROD
ELECTRICAL	SUBJECT	A/C	ROD	ROD
METER	FACE	AIR	ROD	ROD
- X -	JUNCTION	COND	LP	LP
FENCE	BOX	UNIT	LIGHT	POLE
			POLE	POLE
			PROPERTY	PROPERTY
			LINE'S	LINE'S

**R.S.C.I.**  
 ROCKWALL SURVEYING CO., INC.

**LAND SURVEYING**

SURVEY DATE JUNE 7, 2005  
 SCALE 1" = 50' FILE # 20050973  
 CLIENT DOUGLAS GF # NONE

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN SINGLE FAMILY 16 (SF-16) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	SINGLE FAMILY 16 (SF-16) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Residential Garage	<a href="#">(7)</a>	<a href="#">(4)</a> & <a href="#">(5)</a>	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	<a href="#">(8)</a>	<a href="#">(6)</a>	A
Home Occupation	<a href="#">(9)</a>	<a href="#">(7)</a>	P
Portable Building	<a href="#">(15)</a>	<a href="#">(10)</a>	P
Residential Infill in an Established Subdivision	<a href="#">(16)</a>	<a href="#">(11)</a>	S
Single-Family Detached Structure	<a href="#">(18)</a>	<a href="#">(13)</a>	P
Private Swimming Pool	<a href="#">(20)</a>		A
Private Tennis Court	<a href="#">(21)</a>		S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	S
Group or Community Home	<a href="#">(11)</a>	<a href="#">(5)</a>	P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	S
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	S
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		S
Private Country Club	<a href="#">(5)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	<a href="#">(25)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	2.02(K)	2.03(K)	
Antenna, as an Accessory	<a href="#">(2)</a>	<a href="#">(1)</a>	S
Antenna, for an Amateur Radio	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Antenna Dish	<a href="#">(5)</a>	<a href="#">(4)</a>	A
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
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# PERMITTED LAND USES IN AN SINGLE FAMILY 16 (SF-16) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY 16 (SF-16) DISTRICT
Municipally Owned or Controlled Facilities, Utilities and Uses	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Railroad Yard or Shop	<a href="#">(14)</a>		S
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S
Wireless Communication Tower	<a href="#">(24)</a>		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO SINGLE-FAMILY 16 (SF-16) DISTRICT FOR A 0.93-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17 OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-16) District on a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliot Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family 16 (SF-16) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 16 (SF-16) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Subsection 03.01, *General Residential District Standards*; Subsection 03.06, *Single-Family 16 (SF-16) District*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 17<sup>th</sup> DAY OF JULY, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: June 19, 2023

2<sup>nd</sup> Reading: July 17, 2023

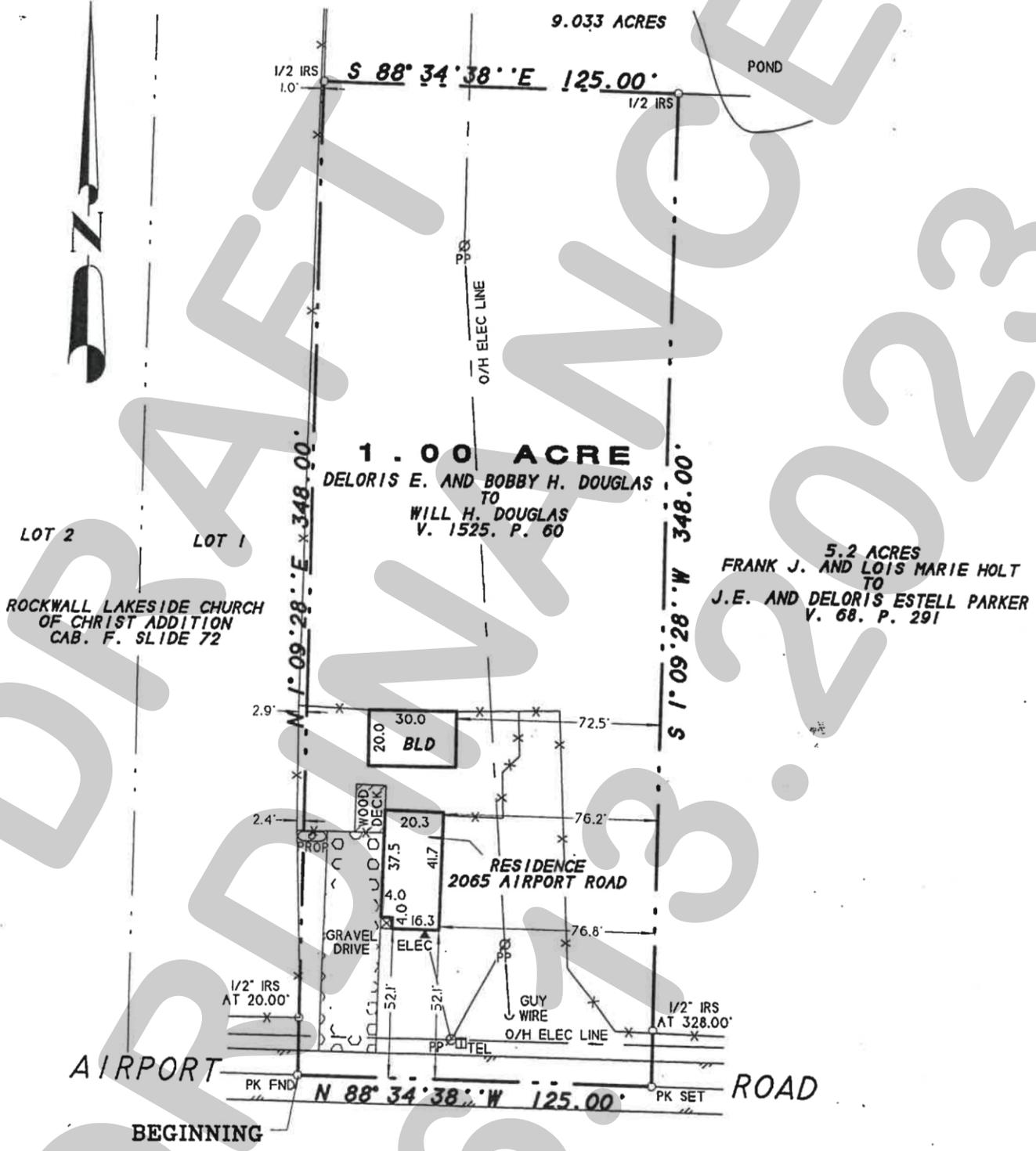
**Exhibit 'A'**  
Location Map

Address: 2065 Airport Road

Legal Description: Tract 17 of the E. M. Elliot Survey, Abstract No. 77



**Exhibit 'B'**  
Zoning Exhibit





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** June 13, 2023  
**APPLICANT:** Vanio Dilov  
**CASE NUMBER:** Z2023-027; *Specific Use Permit (SUP) for a Residential Infill for 110 Mischief Lane*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

### **BACKGROUND**

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 of the Chandler's Landing Subdivision was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision was later approved on July 2, 1985. This established the subject property as Lot 16, Block A, Chandler's Landing, Phase 20 Addition. The subject property remains zoned Planned Development District 8 (PD-8) and has remained vacant since it was originally platted.

### **PURPOSE**

The applicant -- *Vanio Dilov* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 110 Mischief Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Signal Ridge Subdivision, which consists of 57 townhomes on 3.98-acres of land. Beyond this is Phase 3 of the Signal Ridge Subdivision, which consists 113 townhomes on 8.88-acres of land. All of these phases of the Signal Ridge Subdivision are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

South: Directly south of the subject property is Mischief Lane, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. South of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are four (4) parcels of land (*i.e. 102, 104, 106, and 108 Mischief Lane*) developed with single-family homes. East of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is Phase

16 of the Chandler's Landing Subdivision, which consists of 59 single-family residential lots on 13.00-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses.

West: Directly west of the subject property are Phase 2 and Phase 3 of the Signal Ridge Subdivision. Phase 2 of the Signal Ridge Subdivision consists of 57 townhomes on 3.98-acres of land. Phase 3 of the Signal Ridge Subdivision consists of 113 townhomes on 8.88-acres of land. Both of these phases are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 20 of the Chandler's Landing Subdivision, which has been in existence since 1985, consists of 63 single-family residential lots, and is 96.83% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Mischief Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Mischief Lane	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Mischief Lane are oriented towards Mischief Lane, with the exception of 4501 Yacht Club Drive.	The front elevation of the home will face onto Mischief Lane.
Year Built	1990-2016	N/A
Building SF on Property	2,615 SF – 6,032 SF	2,895 SF
Building Architecture	Traditional Brick/Stone Suburban Residential with One (1) Modern Home	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	50-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Combination of Brick and Stone
Paint and Color	White, Cream, Red, Pink, Beige, Grey, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Mischief Lane with the orientations being <i>flat front entry, garage forward entry, side entry, and 'J' or traditional swing entry.</i>	The garage will be a j-swing garage.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry

garages ...” In this case, the applicant is proposing a j-swing garage which is in conformance with Planned Development District 8 (PD-8) and the Unified Development Code standards.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Mischief Lane and the proposed building elevations in the attached packet.

### **NOTIFICATIONS**

On May 24, 2023, staff mailed 275 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water’s Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista and Chandler’s Landing Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in opposition to the applicant’s request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘A’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit BC’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

**NOTES:**

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 110 MISCHIEF W Rockwall TX 75032  
 SUBDIVISION CHANDLER'S LANDING LOT 15 BLOCK A  
 GENERAL LOCATION Rockwall

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENCIAL CURRENT USE VACANT LOT  
 PROPOSED ZONING RESIDENCIAL PROPOSED USE NEW HOUSE  
 ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>VANIO DILOV</u>	<input checked="" type="checkbox"/> APPLICANT	<u>VANIO DILOV</u>
CONTACT PERSON	<u>VANIO DILOV</u>	CONTACT PERSON	<u>VANIO DILOV</u>
ADDRESS	<u>2717 LAKEWOOD DR.</u>	ADDRESS	<u>2717 LAKEWOOD DR.</u>
	<u>ROWLETT</u>		<u>ROWLETT</u>
CITY, STATE & ZIP	<u>TX. 75088</u>	CITY, STATE & ZIP	<u>TX. 75088</u>
PHONE	<u>972-672-7777</u>	PHONE	<u>972-672-7777</u>
E-MAIL	<u>Desi.Dilov@gmail.com</u>	E-MAIL	<u>Desi.Dilov@gmail.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Vanio Dilov [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

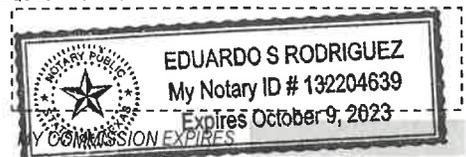
<sup>1</sup> I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF MAY, 2023

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 25 50 100 150 200 Feet

Z2023-027: Specific Use Permit for Residential Infill at 110 Mischief Lane



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

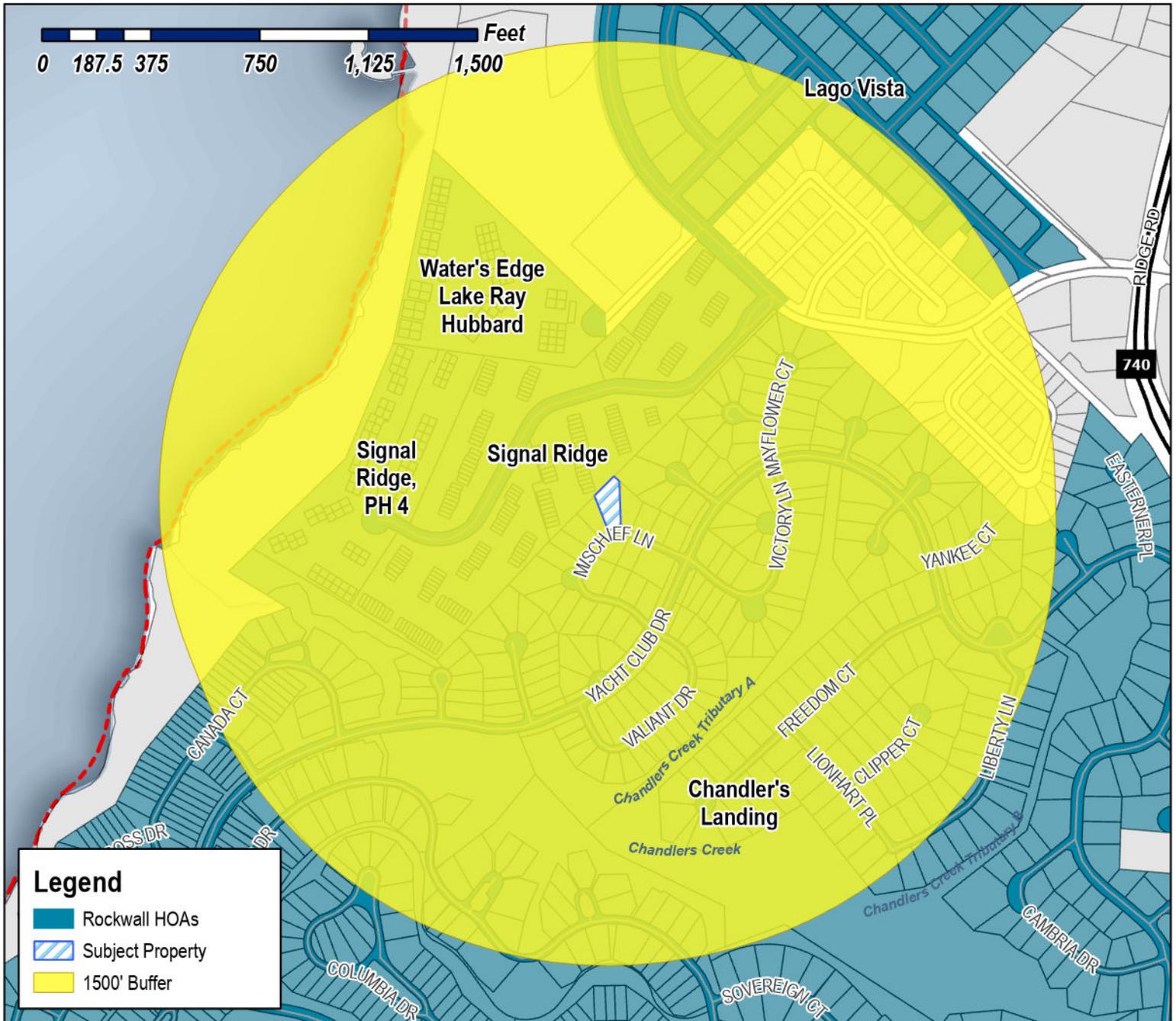




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-027  
**Case Name:** SUP for Residential Infill  
**Case Type:** ZONING  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 110 Mischief Lane

**Date Saved:** 5/23/2023  
 For Questions on this Case Call (972) 771-7745



## Guevara, Angelica

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, May 23, 2023 3:12 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Program [Z2023-027]  
**Attachments:** Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-027: SUP for Residential Infill at 110 Mischief Lane**

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

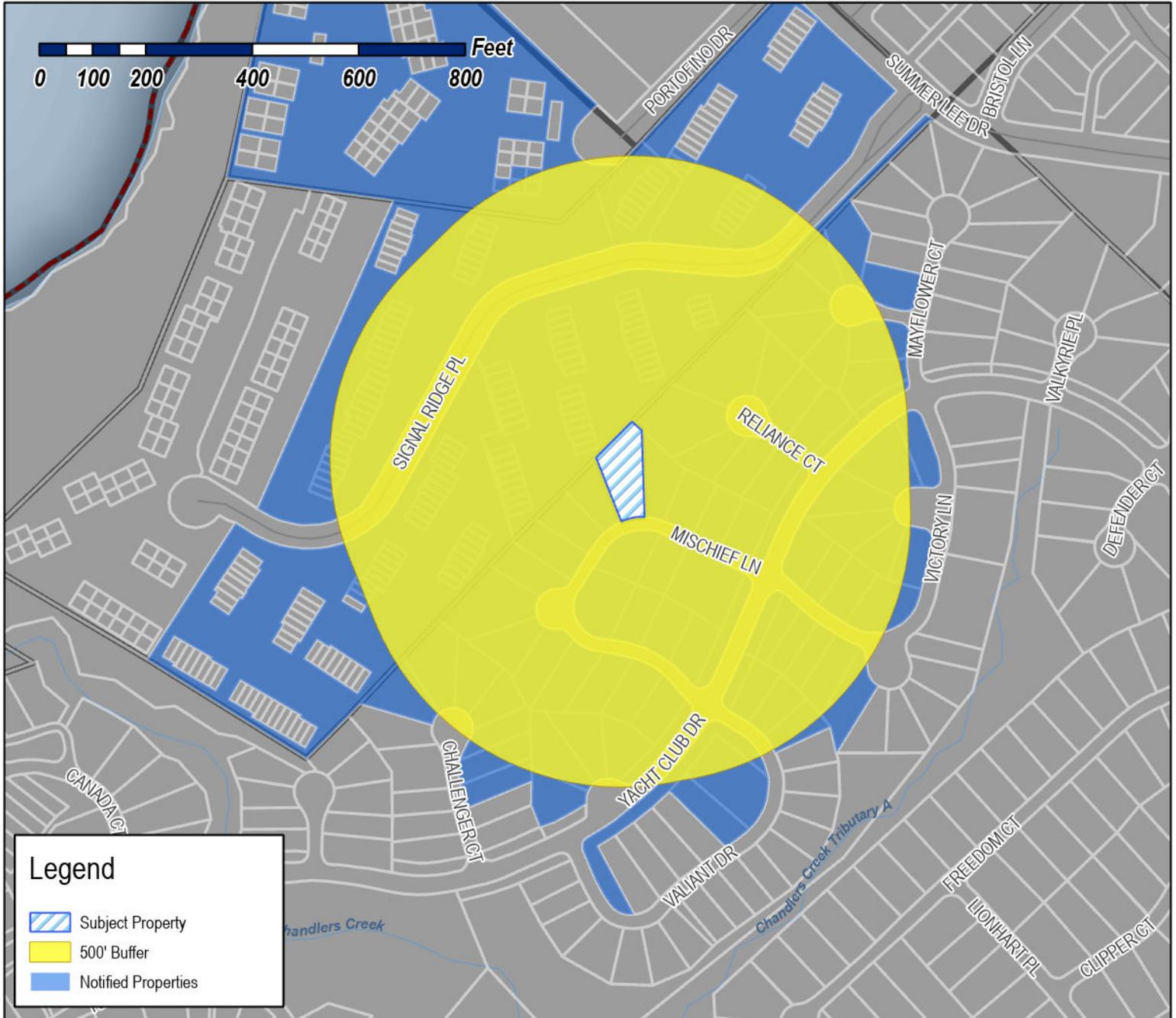
Thank You,  
Melanie Zavala  
Planning Coordinator  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-771-6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Legend**

-  Subject Property
-  500' Buffer
-  Notified Properties

**Case Number:** Z2023-027  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 110 Mischieff Lane

**Date Saved:** 5/23/2023

For Questions on this Case Call: (972) 771-7746



BELOTE GARLAND III  
1001 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL  
1002 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1003 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

SINNOTT KATHY  
1004 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1005 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

SEPEHRI SUSAN M  
1006 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BROYLES STEPHANIE  
1007 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN  
1008 SIGNAL RIDGE  
ROCKWALL, TX 75032

MIEROW SHARON A  
1009 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GOODMAN CARLA  
101 DAME PATTIE DR  
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA  
101 MAYFLOWER CT  
ROCKWALL, TX 75032

SWEET CHASE AND SADIE  
101 RELIANCE CT  
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC  
101 S BROOKSIDE DR APT 2505  
DALLAS, TX 75214

MCAFFEE CANDACE  
1010 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

FOREMAN JANET  
1011 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R  
1012 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1013 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WORTHY SHARON A  
1014 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ROGERS JOE ELLIS  
1015 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GRAGG CAROL  
1016 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1017 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC  
1017 NATIVE TR  
HEATH, TX 75032

RESIDENT  
1018 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1019 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J  
102 DAME PATTIE DRIVE  
ROCKWALL, TX 75032

HALL CORI  
102 MISCHIEF LANE  
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE  
102 RELIANCE COURT  
ROCKWALL, TX 75032

WAGNER JULIE A  
1020 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

RESIDENT  
1021 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GIBBS STEPHANIE L  
1022 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75087

RESIDENT  
1023 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VAIL SYDNEY  
1024 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1025 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WHITE RANDY  
1026 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1027 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOSEPH JACOB  
1028 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1029 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
103 DAME PATTIE  
ROCKWALL, TX 75032

RESIDENT  
103 MAYFLOWER CT  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
103 GROSS RD BLDG A  
MESQUITE, TX 75149

AUSTIN CHRISTI LYNN  
103 RELIANCE COURT  
ROCKWALL, TX 75032

DUKE HEATHER  
1030 SIGNAL RIDGE PL UNIT 1030  
ROCKWALL, TX 75032

RESIDENT  
1031 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PERROTTA SHARON  
1032 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNSTON SHARRON  
1033 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

RESIDENT  
1034 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1035 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRYOR MICA MALONEY  
1036 SIGNAL RIDGE PLACE #1036  
ROCKWALL, TX 75032

RESIDENT  
1037 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1038 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CONNER JANICE S  
1039 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
104 RELIANCE CT  
ROCKWALL, TX 75032

FAYAD HUSSAIN  
104 DAME PATTIE DRIVE  
ROCKWALL, TX 75032

CARR LORI  
104 MISCHIEF LN  
ROCKWALL, TX 75032

RESIDENT  
1040 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1041 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1042 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1043 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

TRINGALI CAHTERINE  
1044 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

KILGORE MADISON  
1045 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

YANGER LISA  
1046 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1047 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ZAJDL SALLY A  
1048 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

OCONNOR MICHAEL  
105 MAYFLOWER CT  
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES  
105 MISCHIEF LN  
ROCKWALL, TX 75032

HAYES BRANDON  
105 RELIANCE CT  
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA  
106 MISCHIEF LANE  
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE  
106 RELIANCE CT  
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-  
GILBREATH  
107 RELIANCE CT  
ROCKWALL, TX 75032

CARRILLO VICTOR G  
108 MISCHIEF LN  
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY  
108 RELIANCE CT  
ROCKWALL, TX 75032

NORTEX PROPERTIES INC  
% JOSEPH L ZEHR  
10808 LA CABREAH LN  
FORT WAYNE, IN 46845

HAGIN GARY L & W ANNE  
109 MISCHIEF LN  
ROCKWALL, TX 75032

RESIDENT  
110 MISCHIEF LN  
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G  
1101 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1102 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1103 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO  
1104 SIGNAL RIDGE #1104  
ROCKWALL, TX 75032

RESIDENT  
1105 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
1105 51ST ST W  
BRADENTON, FL 34209

GARDNER DAVID L REVOCABLE LIVING TRUST  
DAVID L GARDNER TRUSTEE  
1105 51ST ST W  
BRADENTON, FL 34209

OGLIN THOMAS J & JOYCE L  
1106 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1107 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNS ETHAN  
1108 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

RUBIO CONNIE L  
1109 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CORDELL-JOHNSON KIMBERLY  
1110 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

RESIDENT  
1111 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN  
1111 VISTA GRANDE ROAD  
EL CAJON, CA 92019

TWOMEY ELIZABETH A  
1112 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1113 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1114 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MATHERNE JUDITH L  
1115 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC  
1116 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MARKHAM DIANNA  
1117 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

LEVENTHAL PATRICK J  
1118 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BULLOCK JEFFREY B AND  
MARGARITA HEREDIA  
1119 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K  
112 MISCHIEF LANE  
ROCKWALL, TX 75032

FREEMAN RICHARD WILLIAM  
1120 LIVE OAK CIRCLE  
SHERMAN, TX 75092

LAMAN FRANCES ANN  
1120 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

RESIDENT  
1121 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LAWRENCE ALAN  
1122 SIGNAL RIDGE PLACE # 1122  
ROCKWALL, TX 75032

RESIDENT  
1123 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1124 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1125 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GUERRA CHRISTOPHER  
1126 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

RESIDENT  
1127 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA  
1128 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1129 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J  
114 MISCHIEF LANE  
ROCKWALL, TX 75032

LETT LORNA  
116 MISCHIEF LN  
ROCKWALL, TX 75032

RESIDENT  
118 MISCHIEF LN  
ROCKWALL, TX 75032

PUSTEJOVSKY MARK  
11875 CR 4026  
KEMP, TX 75143

COOK NATHAN & COURTNEY  
120 MISCHIEF LN  
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J  
120 PURITAN CT  
ROCKWALL, TX 75032

LOWREY COLT A AND  
LEO WISE  
122 MISCHIEF LN  
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN  
122 PURITAN COURT  
ROCKWALL, TX 75032

MCMURTRE DREW  
1220 COIT RD STE 107  
PLANO, TX 75075

MONTOYA ASHLEY R & JOSE L  
124 MISCHIEF LANE  
ROCKWALL, TX 75032

POTISKA PATRICIA  
124 PURITAN CT  
ROCKWALL, TX 75032

RESIDENT  
125 MISCHIEF LN  
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE  
126 MISCHIEF LN  
ROCKWALL, TX 75087

WINKLES GARY AND KRISTY  
126 PURITAN CT  
ROCKWALL, TX 75032

MARTIN NAN YI  
127 MICHIEF LANE  
ROCKWALL, TX 75032

RESIDENT  
128 PURITAN CT  
ROCKWALL, TX 75032

HALAMA STEVEN  
128 MISCHIEF LN  
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J  
129 MISCHIEF LANE  
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN  
130 MISCHIEF LANE  
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D  
131 MISCHIEF LANE  
ROCKWALL, TX 75032

RESIDENT  
132 MISCHIEF LN  
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE  
143 STEVENSON DR  
FATE, TX 75087

PARNES DROR & ALEXANDRA  
15 KESTREL COURT  
ROCKWALL, TX 75032

RESIDENT  
1501 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WEST VICTORIA FELICIA  
1502 SIGNAL RIDGE  
ROCKWALL, TX 75032

LE VASSEUR SANDI  
1503 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1504 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN  
1505 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1506 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE  
1507 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1508 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1517 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1518 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GUERRA JUSTIN  
1519 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

DECKER SARAH E  
1520 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MCCLENDON JAMIE  
1521 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1522 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BROWN CORY  
1523 SIGNAL RIDGE  
ROCKWALL, TX 75032

TABOR MARILYN W  
1524 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1525 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

OSBORN LARETHA  
1526 SIGNAL RIDGE PLACE UNIT 1526  
ROCKWALL, TX 75032

RESIDENT  
1527 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VANCLEVE BARRY CURTIS  
1528 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

RESIDENT  
1529 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PINSON JON JEFFREY  
1530 SIGNAL RIDGE PLACE BLDG S, UNIT 3  
ROCKWALL, TX 75032

RESIDENT  
1531 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1532 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1533 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1534 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

NALL JODEE WAYNE  
1535 SIGNAL RIDGE PL UNIT 3  
ROCKWALL, TX 75032

SCHAR KATIE AND ERNST  
1536 SIGNAL RIDGE PL UNIT 3  
ROCKWALL, TX 75032

RESIDENT  
1537 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1538 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
1539 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WILLIAMS CHARLES M AND TIFFANY  
1540 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES  
BUCHNER/CURRENS FAMILY TRUST  
16 LAKEWAY DR  
HEATH, TX 75032

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

MEDINA ALEJANDRO  
1800 DALROCK #100  
ROWLETT, TX 75088

DWA EQUITIES LLC  
1802 SIGNAL RIDGE  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
BREZ FAMILY TRUST  
1910 SIGNAL RIDGE  
ROCKWALL, TX 75032

OLSEN CATHERINE A  
1920 KINGS PASS  
HEATH, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
2001 SPRING RD SUITE 700  
OAK BROOK, IL 60523

HARVILLE BRET  
2003 PORTOFINO DR  
ROCKWALL, TX 75032

LARAPINTA LLC  
2028 E. BEN WHITE BLVD # 240-5820  
AUSTIN, TX 75741

RESIDENT  
2030 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
2032 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
2034 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
2036 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
2038 PORTOFINO DR  
ROCKWALL, TX 75032

MOORE GREGORY J  
2140 PORTOFINO DR  
ROCKWALL, TX 75032

HENDERSON DON AND MARIA  
234 BRISTOL CT  
HEATH, TX 75032

AMH 2014-2 BORROWER LLC  
23975 PARK SORRENTO SUITE 300  
CALABASAS, CA 91302

PINK DALLAS LLC  
240 WILLOWCREST  
ROCKWALL, TX 75032

ODOM LACEY AND JOSH  
2402 YACHT CLUB DR  
ROCKWALL, TX 75032

PARRISH WENDY R  
246 VICTORY LN  
ROCKWALL, TX 75032

TONA CHAD J & MARTI  
256 VICTORY LANE  
ROCKWALL, TX 75032

HANSEN J D & PATRICIA  
262 VICTORY LN  
ROCKWALL, TX 75032

RESIDENT  
264 VICTORY LN  
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN  
268 VICTORY LN  
ROCKWALL, TX 75032

DILOV VANIO  
2717 LAKEWOOD DR  
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON  
272 VICTORY LN  
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E  
MARY R BURKETT CUSTODIAN  
277 TERRY LANE  
HEATH, TX 75032

BURKETT MARY REBECCA EASON  
277 TERRY LN  
HEATH, TX 75032

HALL JASON M & CORI M  
284 VICTORY LN  
ROCKWALL, TX 75032

BAILEY RONALD C AND BETH K  
2919 COUNTRY PLACE CIR  
CARROLLTON, TX 75006

SALT PROPERTIES LLC  
2931 RIDGE ROAD SUITE 101-181  
ROCKWALL, TX 75032

SEEDS DAVID R  
2961 S CHERRY WAY  
DENVER, CO 80222

LYNN JASON AND DANIELLE  
297 VICTORY LANE  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
2977 OAK DR  
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE  
299 VICTORY LN  
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND  
NALINA MICHELLE SHAPIRO  
301 VALIANT DRIVE  
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B  
REV LIVING TRUST AGREEMENT  
3020 RIDGE RD  
ROCKWALL, TX 75032

RESIDENT  
303 VALIANT DR  
ROCKWALL, TX 75032

HALL TABITHA AMY AND  
TERESA ADAMS  
305 VALIANT DR  
ROCKWALL, TX 75032

RESIDENT  
306 VICTORY LN  
ROCKWALL, TX 75032

MCAIR KELLY  
307 VICTORY LN  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

RESIDENT  
310 VICTORY LN  
ROCKWALL, TX 75032

SMITH JOSHUA AND  
MAEGAN HOLLOWAY  
314 VALIANT DR  
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY  
314 VICTORY LN  
ROCKWALL, TX 75032

LOREDO SARAHI  
315 VICTORY LN  
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA  
318 VALIANT DRIVE  
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
331 MOCKINGBIRD LN  
AUBURN, AL 36830

LESLIE RANDY  
349 E ELDORADO DR  
SCROGGINS, TX 75480

STRAHM ROBERT & DENA LYNNE  
351 EQUESTRIAN DR  
ROCKWALL, TX 75032

PALERMO JAMES ALBERT  
411 DRIFTWOOD ST  
ROCKWALL, TX 75087

YANGER MORRIS & DORIS  
427 COLUMBIA DR  
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER  
4501 YACHT CLUB DRIVE  
ROCKWALL, TX 75032

KUMAR ANVITA  
4701 COPPER MOUNTAIN LANE  
RICHARDSON, TX 75082

BYRUM JO ANN  
504 N ALAMO ROAD  
ROCKWALL, TX 75087

BOUSSERT ANNE S & CHRISTIAN B  
516 CAMELIA AVE  
BATON ROUGE, LA 70806

HARMON H VICTOR  
519 E INTERSTATE 30 PMB 212  
ROCKWALL, TX 75087

ROSHAN KC  
5335 BROADWAY BLVD #210  
GARLAND, TX 75043

VEGA DAVID AND ALICIA C  
550 MCDONALD ROAD  
HEATH, TX 75032

RESIDENT  
5506 CHALLENGER CT  
ROCKWALL, TX 75032

NORTON ANGELA  
5508 CHALLENGER CT  
ROCKWALL, TX 75032

BRADSHAW ADRIAN  
5510 CHALLENGER COURT  
ROCKWALL, TX 75032

RESIDENT  
5512 CHALLENGER CT  
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN  
5514 CHALLENGER CT  
ROCKWALL, TX 75032

CABANISS CHAR CHERICE  
DAVID R DE LA CERDA  
5516 CHALLENGER CT  
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR  
JOHN C & ARLENE C FREDERIKSEN TRUSTEES  
5518 CHALLENGER CT  
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS  
643 TURTLE COVE BLVD  
ROCKWALL, TX 75087

MUNGER JEFFREY K AND GAIL SLOANE  
6558 FOXDALE CIRCLE  
COLORADO SPRINGS, CO 80919

CORL JON & KIMBERLY BETH CORL AND  
ELIZABETH EDWARDS  
668 FEATHERSTONE DRIVE  
ROCKWALL, TX 75087

THOMAS VELIA  
7317 LOUGHEED PLZ  
PLANO, TX 75025

PATTERSON WILLIAM L JR AND DWAYLA L  
REVOCABLE LIVING TRUST  
782 HANOVER DR  
ROCKWALL, TX 75087

BENTON EMILY AND  
LORI BENTON  
785 WINDING RIDGE LN  
ROCKWALL, TX 75032

RESIDENT  
801 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
801 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
804 EAGLE PASS  
HEATH, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-  
BRAY  
809 SIGNAL RIDGE  
ROCKWALL, TX 75032

GERAULT JANET  
810 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
811 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
812 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DUNN FAMILY TRUST AND DUNN MARITAL  
TRUST  
ALMA JEAN DEAN- TRUSTEE  
813 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BRASHEARS KARI  
814 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ANDREW JONATHON  
815 SIGNAL RIDGE  
ROCKWALL, TX 75032

RESIDENT  
816 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH  
828 CR 1035  
COOPER, TX 75432

RESIDENT  
919 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

INZILLO FRANCA  
920 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
921 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
921 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BEST JAMES AND DEBRA  
922 SENDERA LN  
ROCKWALL, TX 75087

MURRAY NORMA C  
922 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
923 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
924 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
925 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
926 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RESIDENT  
927 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY  
SHELTON  
928 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GREEN MAUREEN  
945 BREEZY HILL LANE  
ROCKWALL, TX 75087

HARRIS SUSAN  
9660 ALPHA LN  
QUINLAN, TX 75474

PRICE MOLLIE L TRUST  
MOLLIE L PRICE TRUSTEE  
C/O CHARLES LINEVILLE P O BOX 743612  
DALLAS, TX 75374

AMHILL FINANCIAL, LP  
P. O. BOX 1179  
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC  
P. O. BOX 853  
WYLIE, TX 75098

THE SPACE PLACE, SERIES LLC, SERIES I  
P.O. BOX 1271  
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K  
P.O. BOX 2198  
ROCKWALL, TX 75087

MCMINN KIMBERLY  
PMB 239 11654 PLAZA AMERICA DR  
RESTON, VA 20190

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
PO BOX 1179  
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

SRYGLEY JAMES  
PO BOX 1928  
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
PO BOX 743612  
DALLAS, TX 75374

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
PO BOX 743612  
DALLAS, TX 75374

RUSH MAJOR  
PO BOX 760794  
GARLAND, TX 75046

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2023-027: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2023-027: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Blank area for handwritten comments]

Name: [Blank]  
Address: [Blank]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



DESIGN DEVELOPMENT  
SERVICES  
PLANO, TX 75002  
PH. (214) 929-5086

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY ALL  
EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY GENERAL  
CONTRACTOR OF ANY  
DISCREPANCIES PRIOR TO  
BEGINNING CONSTRUCTION  
24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

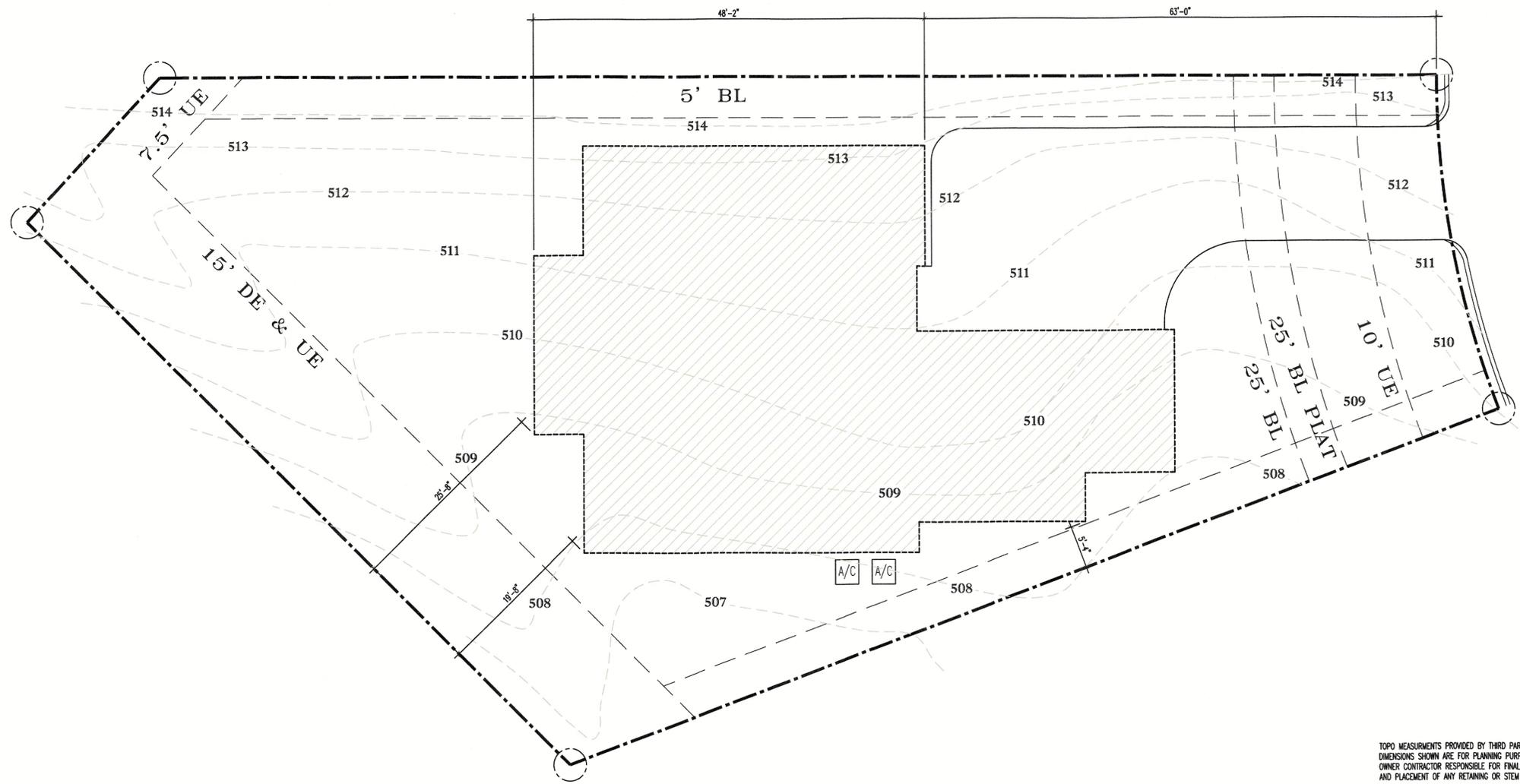
DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

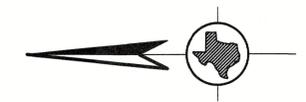
(972) 672-7777

LOT 16 BLK A CHANDLERS LAANDING PH 20  
SPEC BUILD  
110 MISCHIEF LANE  
ROCKWALL, TX 75032  
ROCKWALL COUNTY



110  
MISCHIEF  
LANE

TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY  
DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY  
OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY  
AND PLACEMENT OF ANY RETAINING OR STEM WALLS



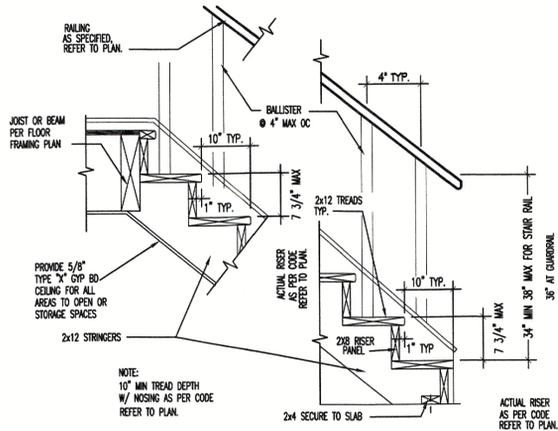
01 SLAB PROFILE ON SITE PLAN  
SCALE: 1/8"=1'-0"

NO REVISION

05-10-23

SHEET NUMBER

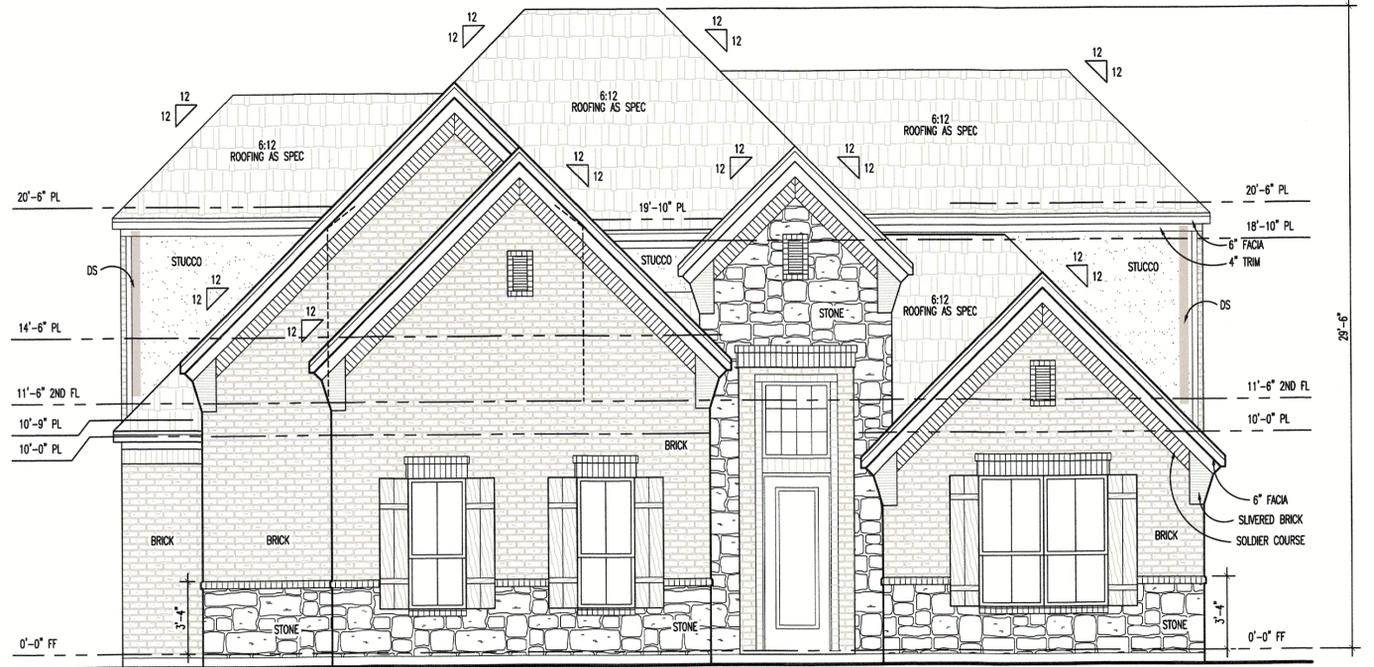
A0.5



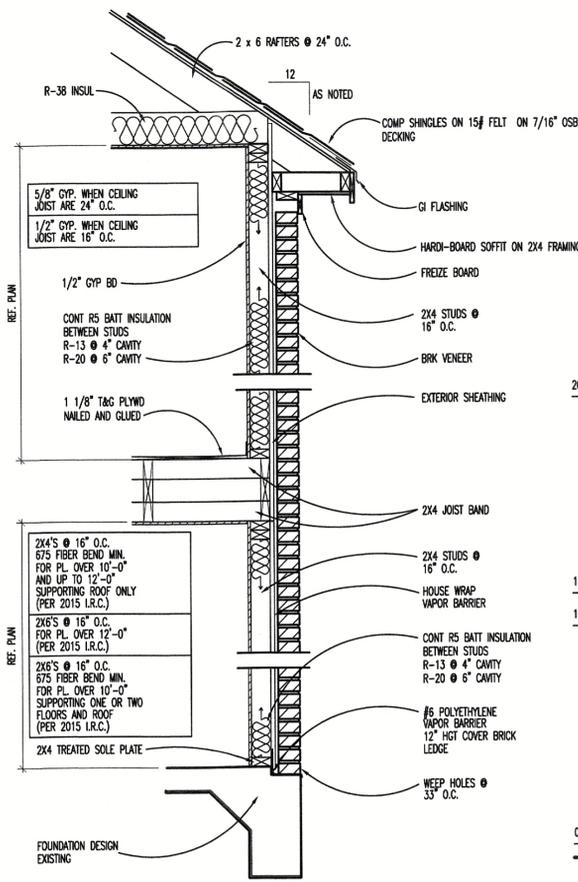
**03 TYP STAIR SECTION**  
SCALE: 3/4"=1'-0"

EXTERIOR WALL INFO			
TOTAL EXT. WALL AREA	2,738	SF	
WDWS & DOORS	545	SF	
ACTUAL C'VD AREA	3,501	SF	
BRICK AREA	2,386	SF	87.1%
STONE AREA	210	SF	7.7%
STUCCO AREA	142	SF	5.2%

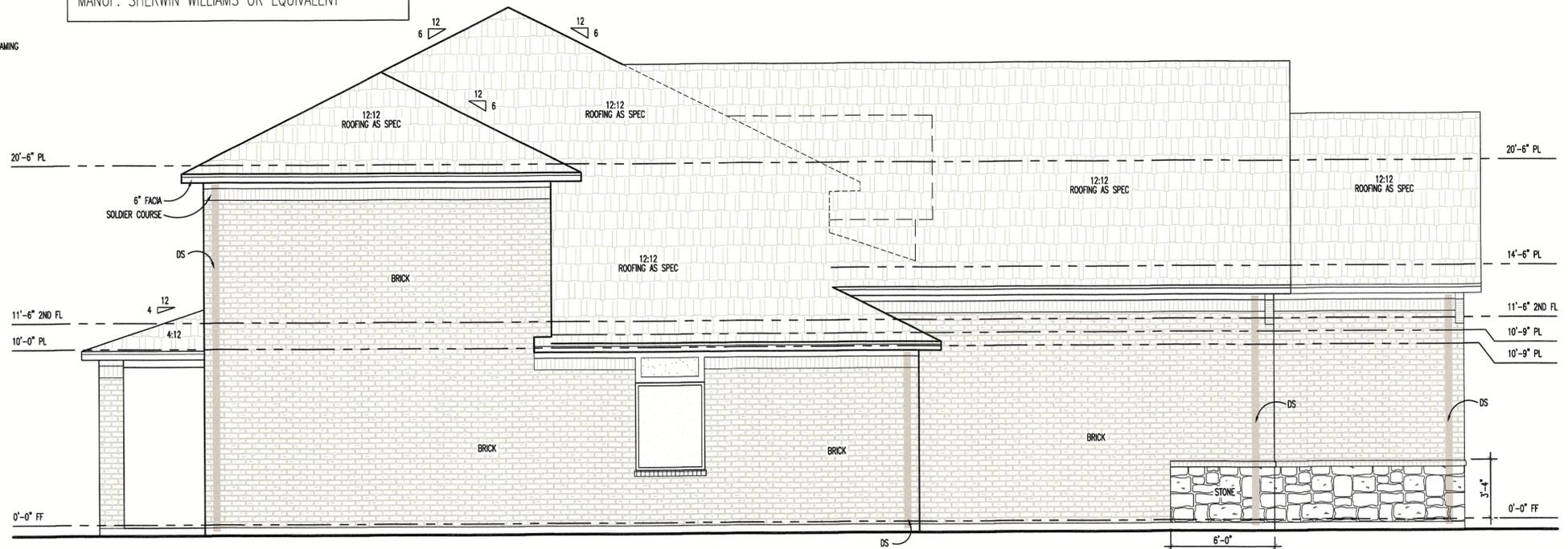
ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT	COLOR: DRIFTWOOD GAF OR EQUIVALENT
FACIA & SOFFIT	
1"X6" FACIA BOARD W/ 5/8"X12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE	MANUF: SHERWIN WILLIAMS OR EQUIVALENT



**01 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**04 TYP WALL DETAIL**  
SCALE: 3/4"=1'-0"



**02 LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

DESIGN DE...  
SERV...  
PLANO...  
PH. (214)...

DO NOT SC...  
CONTRACTOR...  
EXISTING CO...  
DIMENSIONS...  
CONTRACT...  
DISCREPANC...  
BEGINNING...  
24x36

OWNER/CO...  
VANIO...  
DII...  
2717 LAKE...  
ROWLET...  
(972) 6...

SPEC BUILD...  
LOT 16 BLK A CHANDLERS LAANDING PH 20...

NO REVISION...  
05-10...

SHEET N...  
A...



DESIGN DEVELOPMENT SERVICES  
PLANO, TX 75002  
PH. (214) 929-5086

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY ALL  
EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY GENERAL  
CONTRACTOR OF ANY  
DISCREPANCIES PRIOR TO  
BEGINNING CONSTRUCTION  
24x36 PRINT

OWNER/CONTRACTOR  
**VANIO & DE DILOV**  
2717 LAKEWOOD I  
ROWLETT, TX 75081  
(972) 672-7777

SPEC BUILD  
 LOT 16 BLK A CHANDLERS LAANDING PH 20  
 110 MISCHIEF LANE  
 ROCKWALL, TX 75032

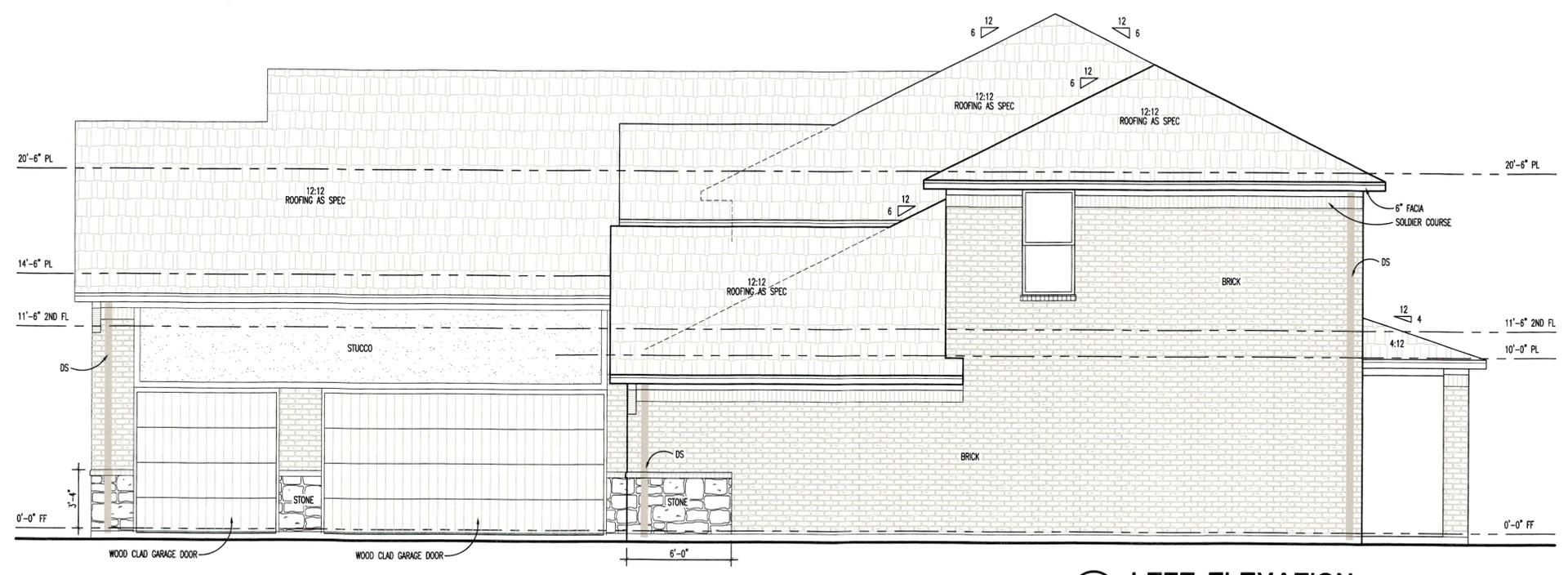
NO. REVISION  
**05-10-23**

SHEET NUMBER  
**A3**

EXTERIOR DOOR SCHEDULE			
ALL GLAZING TO BE DUAL PANE INSULATED LOW-E			
ROOM	#	SIZE	DETAILS
FOYER	1	3080	WOOD ENTRY
NOOK	1	2880	FULL LITE METAL
MASTER	1	2880	FULL LITE METAL
GARAGE	1	16'x8'	METAL OHD
GARAGE	1	8'x8'	METAL OHD

WINDOW SCHEDULE			
ALL GLAZING TO BE DUAL PANE INSULATED LOW-E			
ROOM	#	SIZE	DETAILS
FOYER	1	3236	FX @ 12'-4" HH
DINING	2	3060	SH @ 8'-0" HH
NOOK	3	3060	SH @ 8'-0" HH
LIVING	4	3060	SH @ 8'-0" HH
MASTER BDRM	3	3060	SH @ 8'-0" HH
MASTER BATH	1	4050	FX @ 8'-0" HH OBSCURED
BDRM #2	3	3060	SH @ 8'-0" HH
GAME ROOM	3	3060	SH @ 8'-0" HH
BDRM #3	2	3060	SH @ 8'-0" HH
BDRM #4	1	3060	SH @ 8'-0" HH

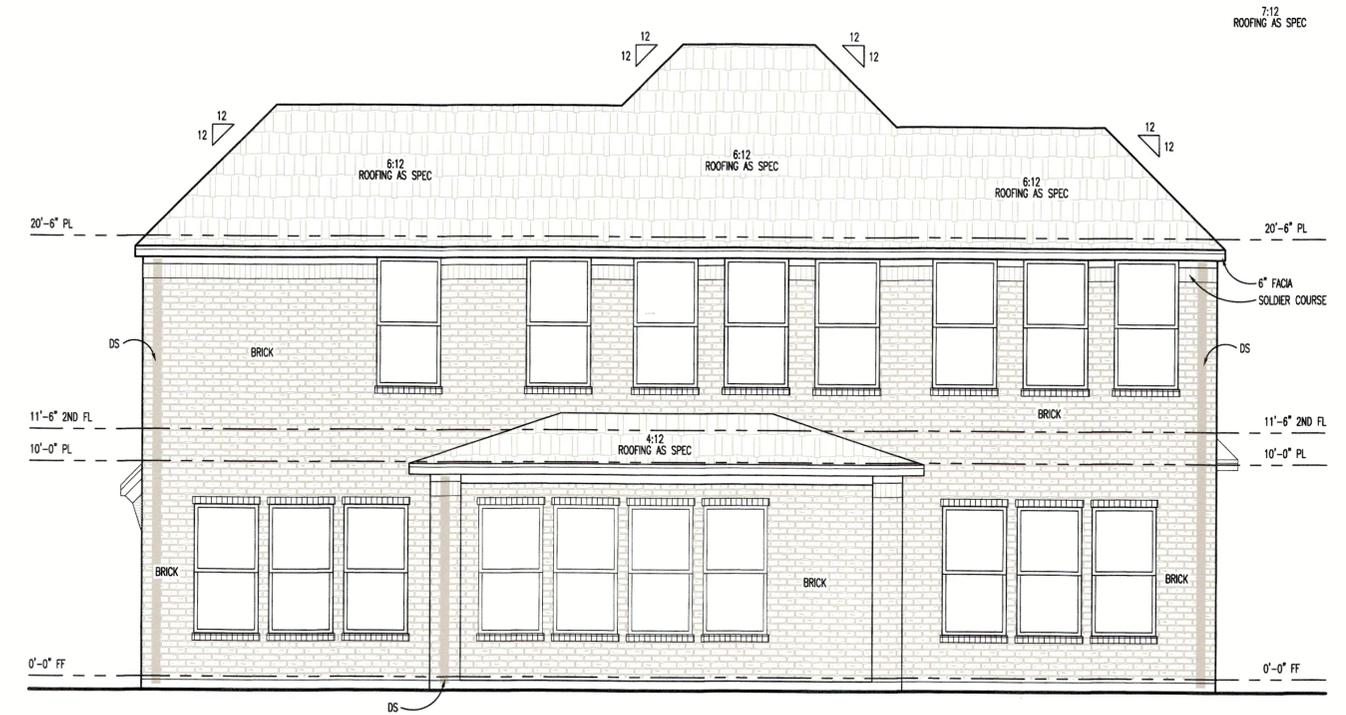
INTERIOR DOOR SCHEDULE			
ROOM	#	SIZE	DETAILS
GARAGE	1	2880	20 MIN RATED W/ CLOSER HINGES
CLOSET & STOR	2	2080	INTERIOR MASONITE HC
PAN	1	2080	INTERIOR MASONITE HC
UTIL	1	2880	INTERIOR MASONITE HC
POWDER	1	2080	INTERIOR MASONITE HC
MASTER BDRM	1	2880	INTERIOR MASONITE HC
MASTER BATH	1	PR 1380	INTERIOR MASONITE HC
	1	2080	INTERIOR MASONITE HC
	1	2680	INTERIOR MASONITE HC
BDRM #2	1	2868	INTERIOR MASONITE HC
BDRM #3	1	2868	INTERIOR MASONITE HC
BDRM #4	1	2868	INTERIOR MASONITE HC
BATH #2	2	2068	INTERIOR MASONITE HC
BATH #3	2	2068	INTERIOR MASONITE HC
BATH #4	1	2068	INTERIOR MASONITE HC
STORAGE CLOSET	1	2868	INTERIOR MASONITE HC
BDRM CLOSETS	3	2068	INTERIOR MASONITE HC



**01 LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

EXTERIOR WALL INFO			
TOTAL EXT. WALL AREA	2,738	SF	
WDWS & DOORS	545	SF	
ACTUAL C'VD AREA	3,501	SF	
BRICK AREA	2,386	SF	87.1%
STONE AREA	210	SF	7.7%
STUCCO AREA	142	SF	5.2%

ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT	COLOR: DRIFTWOOD GAF OR EQUIVALENT
FACIA & SOFFIT	
1"x6" FACIA BOARD W/ 5/8"x12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE	MANUF: SHERWIN WILLIAMS OR EQUIVALENT



**02 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



DESIGN DEVELOPMENT  
 CONTRACTOR TO VERIFY /  
 EXISTING CONDITIONS AND  
 DIMENSIONS - NOTIFY OWNER  
 CONTRACTOR OF ANY  
 DISCREPANCIES PRIOR TO  
 BEGINNING CONSTRUCTION  
 24x36 PRINT

OWNER/CONTRACTOR  
**VANIO & DILOV**  
 2717 LAKEWOOD  
 ROWLETT, TX  
 (972) 672-7777

**SPEC BUILD**  
**LOT 16 BLK A CHANDLERS LAANDING PH 20**  
 110 MISCHIEF LANE  
 ROCKWALL, TX 75087

NO REVISION

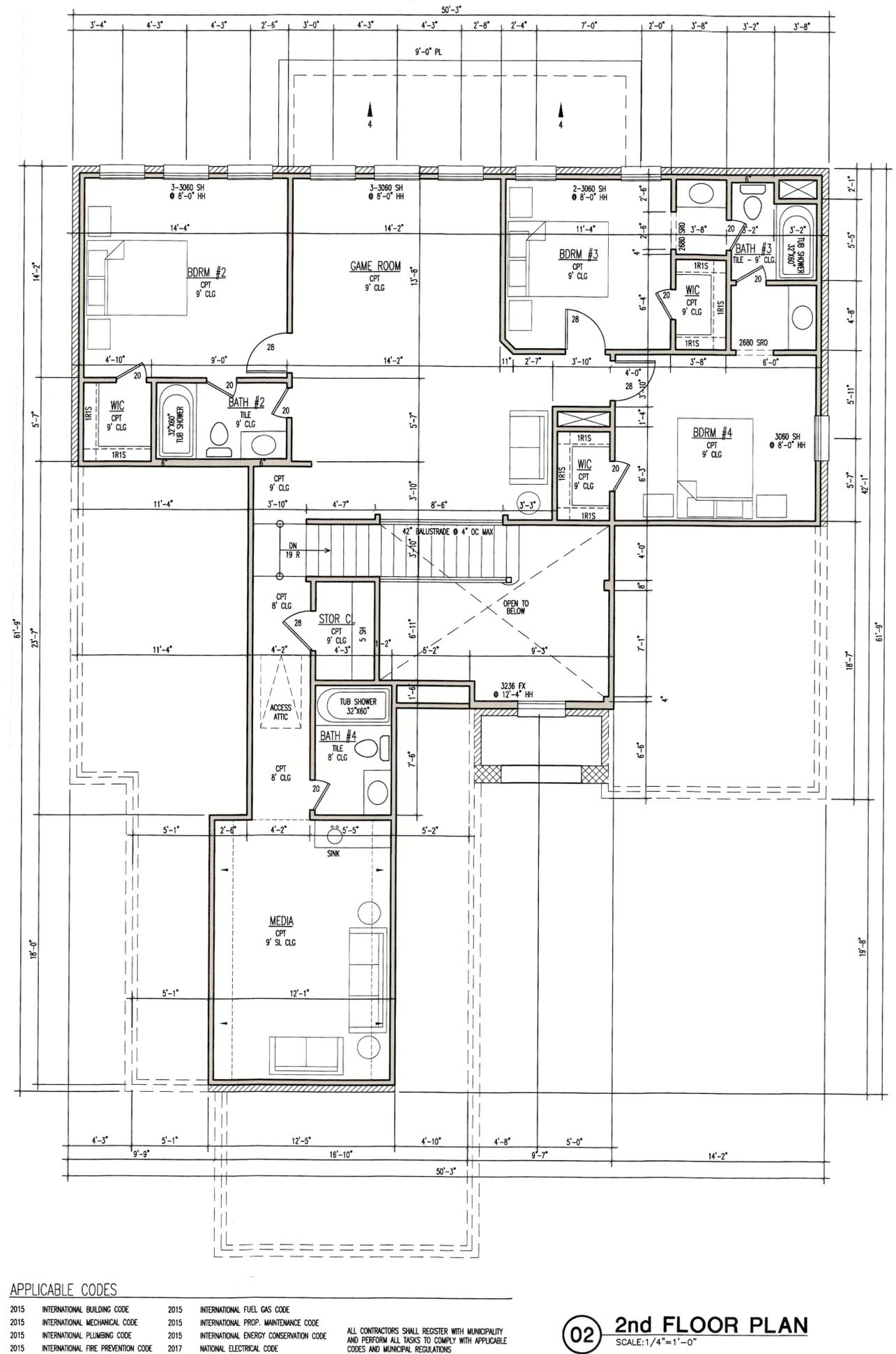
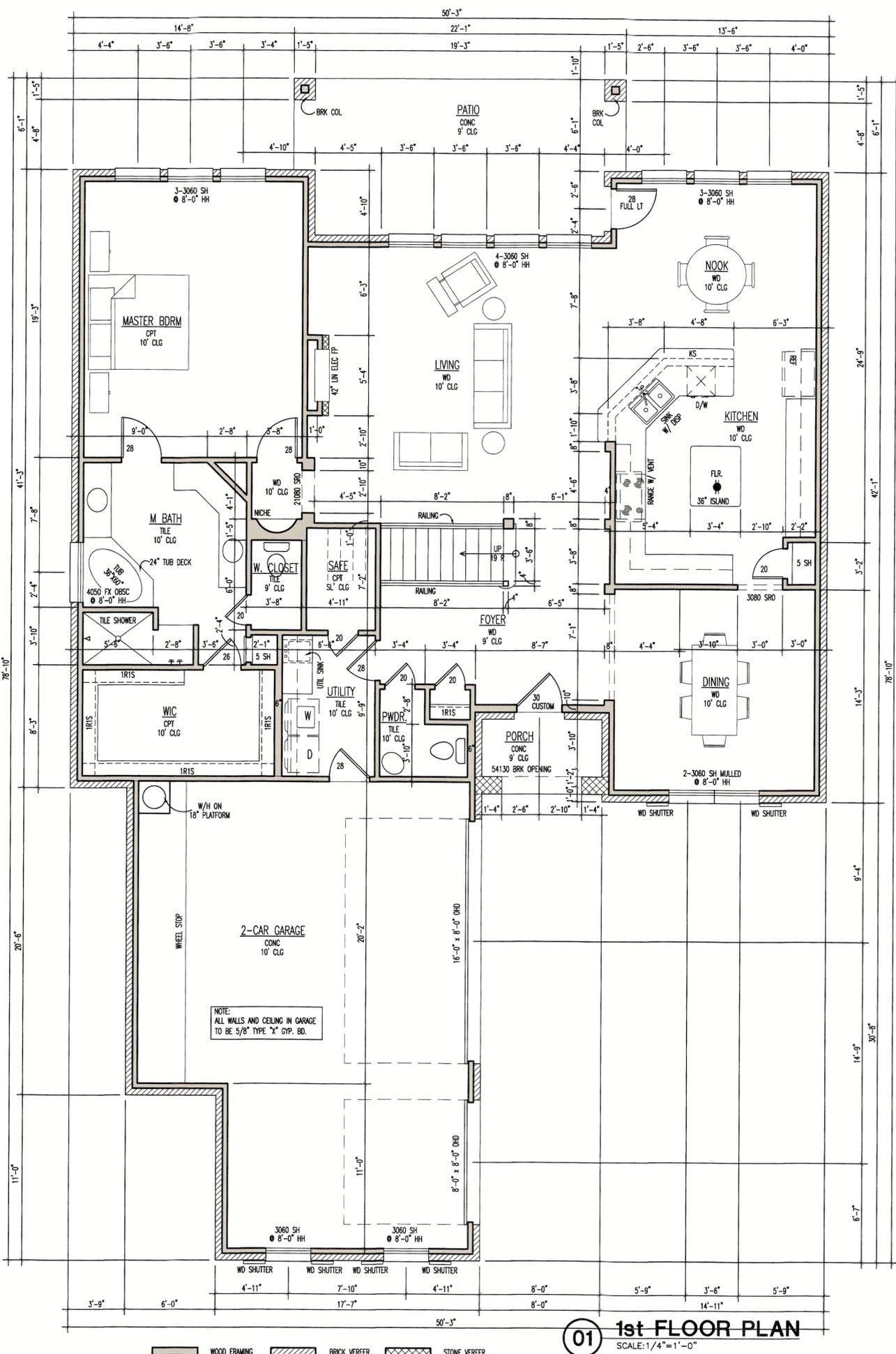
**05-10-20**

FIRST FLOOR A/C 1.5  
 SECOND FLOOR A/C 1.5  
 TOTAL A/C 3.0

FRONT C'VD PORCH 36  
 REAR C'VD PATIO 21  
 3-CAR GARAGE 66  
 TOTAL UNDER ROOF 123

SHEET NUMBER

**A1**



**APPLICABLE CODES**

2015 INTERNATIONAL BUILDING CODE	2015 INTERNATIONAL FUEL GAS CODE
2015 INTERNATIONAL MECHANICAL CODE	2015 INTERNATIONAL PROP. MAINTENANCE CODE
2015 INTERNATIONAL PLUMBING CODE	2015 INTERNATIONAL ELECTRICAL CONSERVATION CODE
2015 INTERNATIONAL FIRE PREVENTION CODE	2017 NATIONAL ELECTRICAL CODE

ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE CODES AND MUNICIPAL REGULATIONS





DESIGN DEVELOPMENT  
SERVICES  
PLANO, TX 75072  
PH. (214) 924-6636

DO NOT SCALE DRAWING  
CONTRACTOR TO VERIFY ALL  
DIMENSIONS AND  
CONTRACTOR OF ALL  
DISCREPANCIES PRIOR TO  
BEGINNING CONSTRUCTION  
THIS PRINT

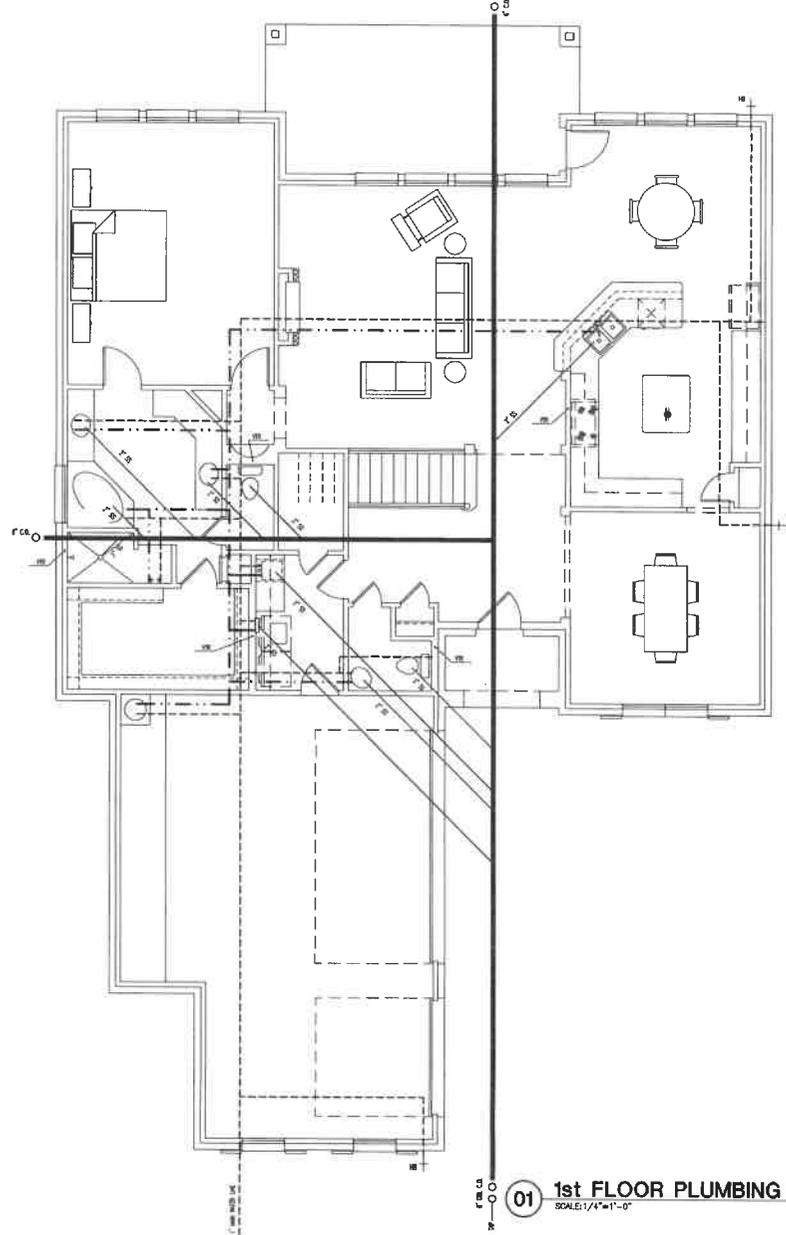
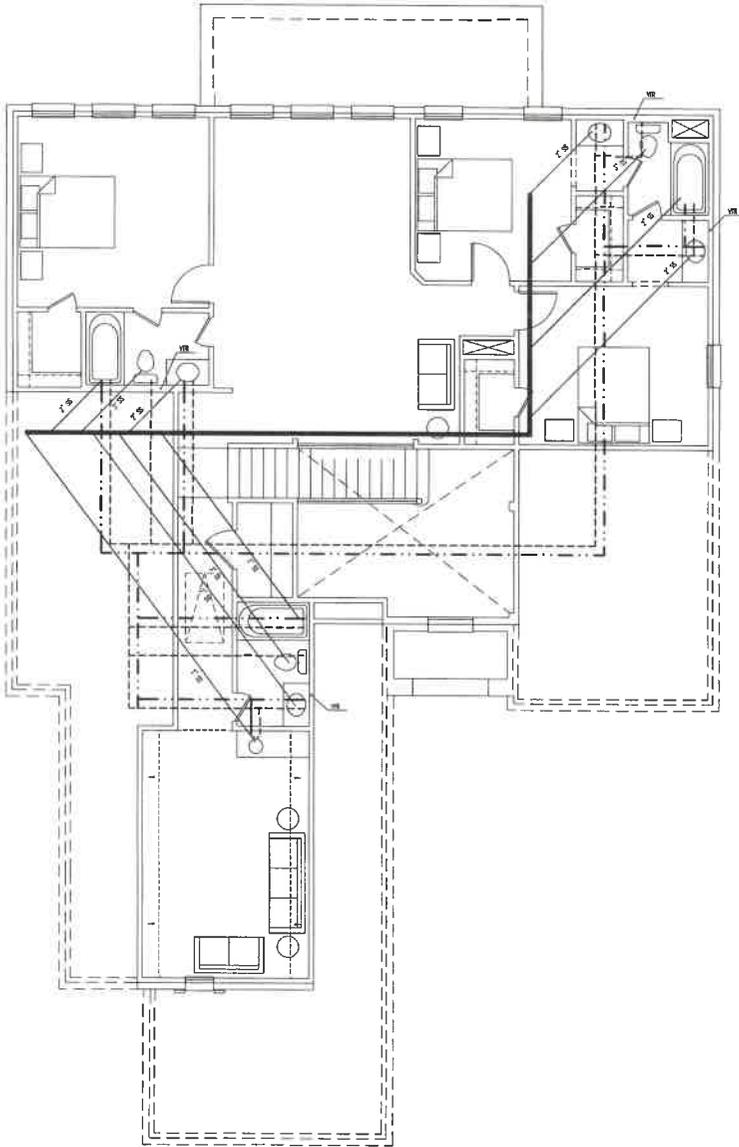
OWNER/CONTRACTOR  
**VANIO & DESI  
DILOV**  
2717 LAKEWOOD DR.  
ROWLETT, TX 75088  
(972) 672-7777

SPEC BUILD  
LOT 16 BLK A CHANDLERS LAANDING PH 20  
110 MISCHIEF LANE  
ROCKWALL, TX 75032  
ROCKWALL COUNTY

NO. REVISION  
**05-10-23**

SHEET NUMBER

**A7**





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
102 Mischief Lane	Single-Family Home	2000	4,541	N/A	Brick and Siding
104 Mischief Lane	Single-Family Home	1990	2,837	N/A	Brick and Stone
106 Mischief Lane	Single-Family Home	1995	3,034	N/A	Brick and Siding
108 Mischief Lane	Single-Family Home	2003	5,306	N/A	Brick and Stone
110 Mischief Lane	Vacant	N/A	N/A	N/A	Vacant
112 Mischief Lane	Single-Family Home	2015	4,155	N/A	Brick and Stone
114 Mischief Lane	Single-Family Home	2005	3,861	N/A	Brick and Stone
116 Mischief Lane	Single-Family Home	2003	2,825	160	Brick and Siding
125 Mischief Lane	Single-Family Home	2016	4,371	N/A	Brick and Stone
109 Mischief Lane	Single-Family Home	1994	3,255	N/A	Brick and Siding
105 Mischief Lane	Single-Family Home	2001	2,615	N/A	Brick
4501 Yacht Club Drive	Single-Family Home	1993	6,032	N/A	Brick and Siding
	AVERAGES:	2001	3,894	160	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



102 Mischief Lane



104 Mischief Lane



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



106 Mischief Lane



108 Mischief Lane



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



110 Mischief Lane



112 Mischief Lane



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



114 Mischief Lane



116 Mischief Lane



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



125 Mischief Lane



109 Mischief Lane



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



105 Mischief Lane



4501 Yacht Club Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2250-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 16, BLOCK A, OF THE CHANDLER'S LANDING PHASE 20 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, of the Chandler's Landing Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 110 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 17<sup>th</sup> DAY OF JULY, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

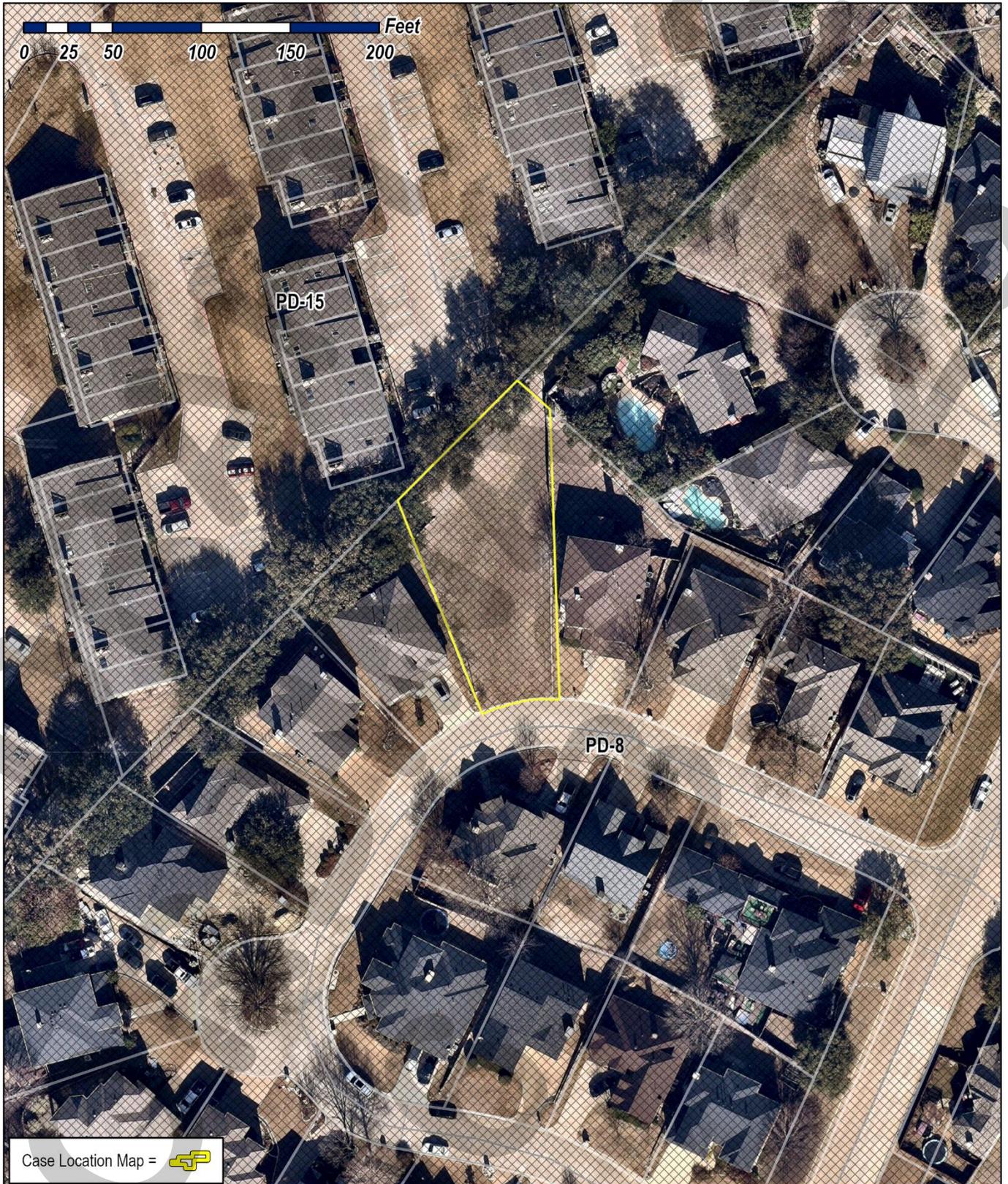
1<sup>st</sup> Reading: June 19, 2023

2<sup>nd</sup> Reading: July 17, 2023

**Exhibit 'A':**  
**Location Map and Residential Plot Plan**

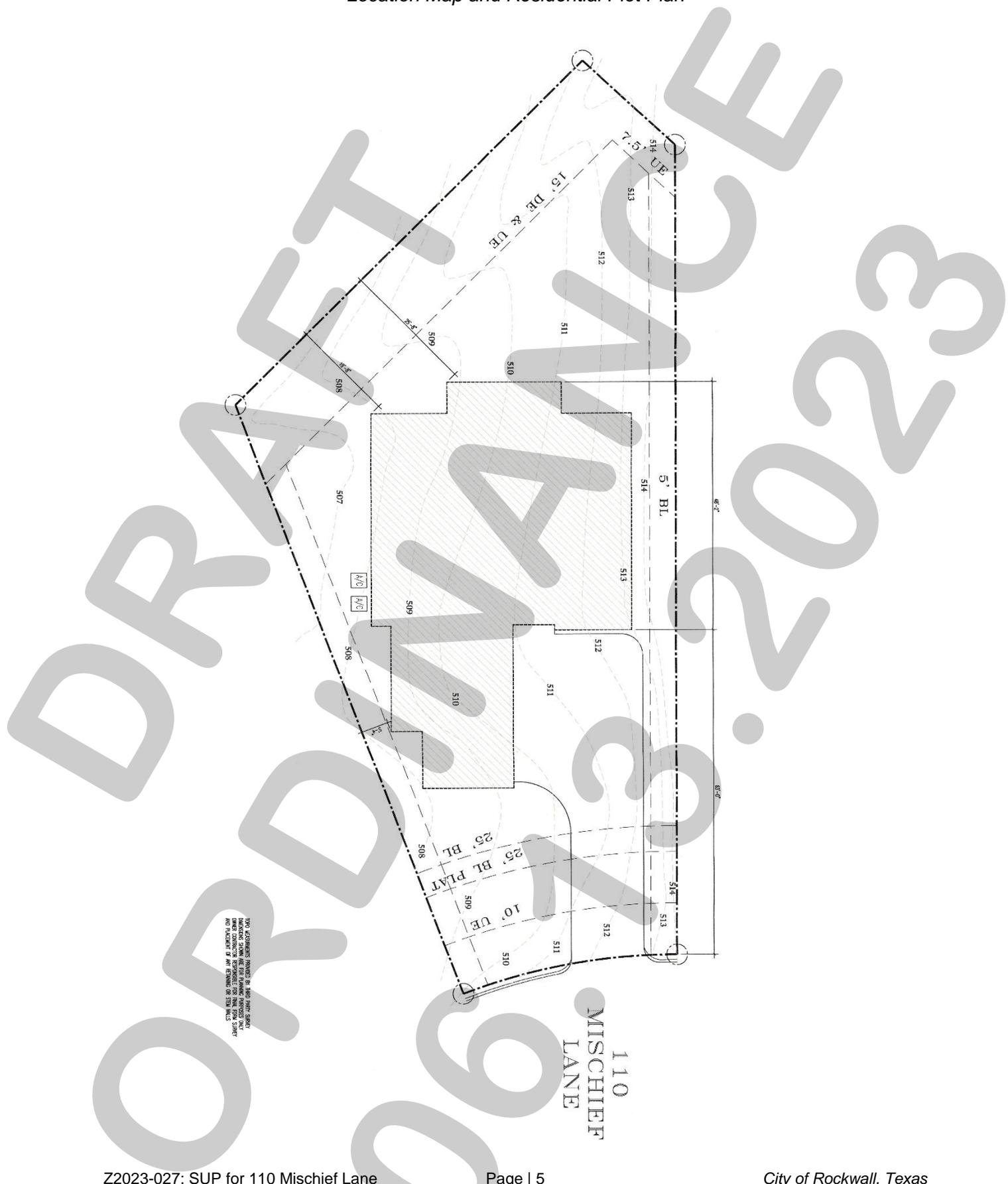
Address: 110 Mischief Lane

Legal Description: Lot 16, Block A, Chandler's Landing Phase 20 Addition



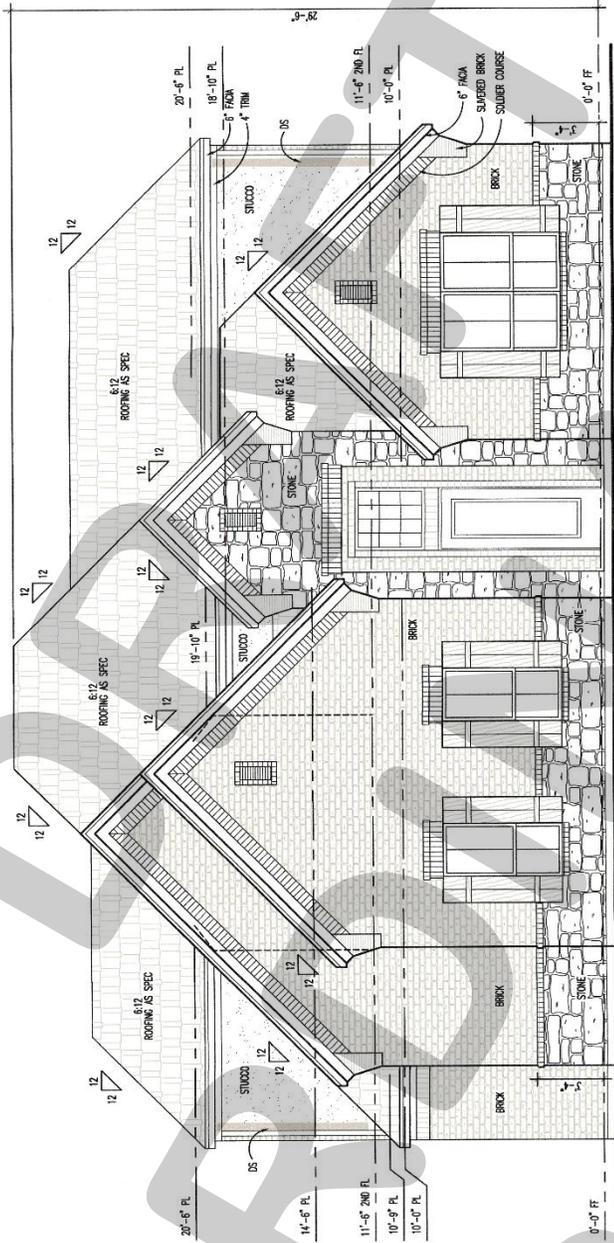
Case Location Map = 

**Exhibit 'A':**  
*Location Map and Residential Plot Plan*



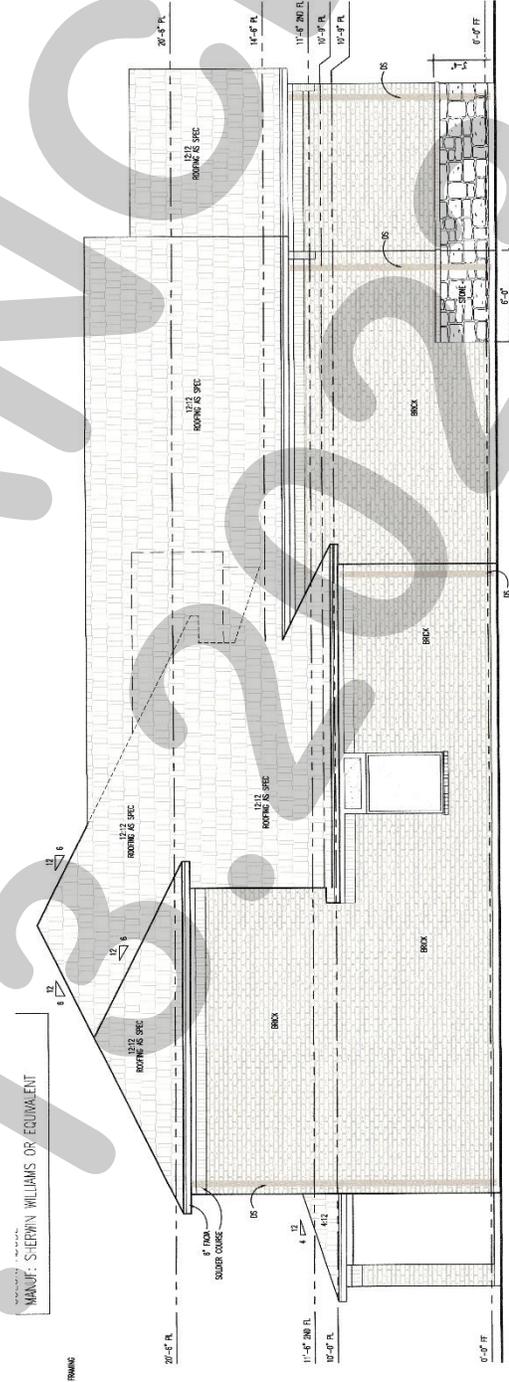
THIS DOCUMENT IS PROVIDED AS IS AND WITHOUT WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE AND NONINFRINGEMENT. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS, DATA OR INFORMATION, INCLUDING REPUTATION, ARISING FROM THE USE OF THIS DOCUMENT. THE USER SHALL INDEMNIFY AND HOLD HARMLESS THE PROVIDER FROM AND AGAINST ALL SUCH DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF LITIGATION, IN CONNECTION WITH THIS DOCUMENT.

Exhibit 'B':  
Building Elevations



01 FRONT ELEVATION

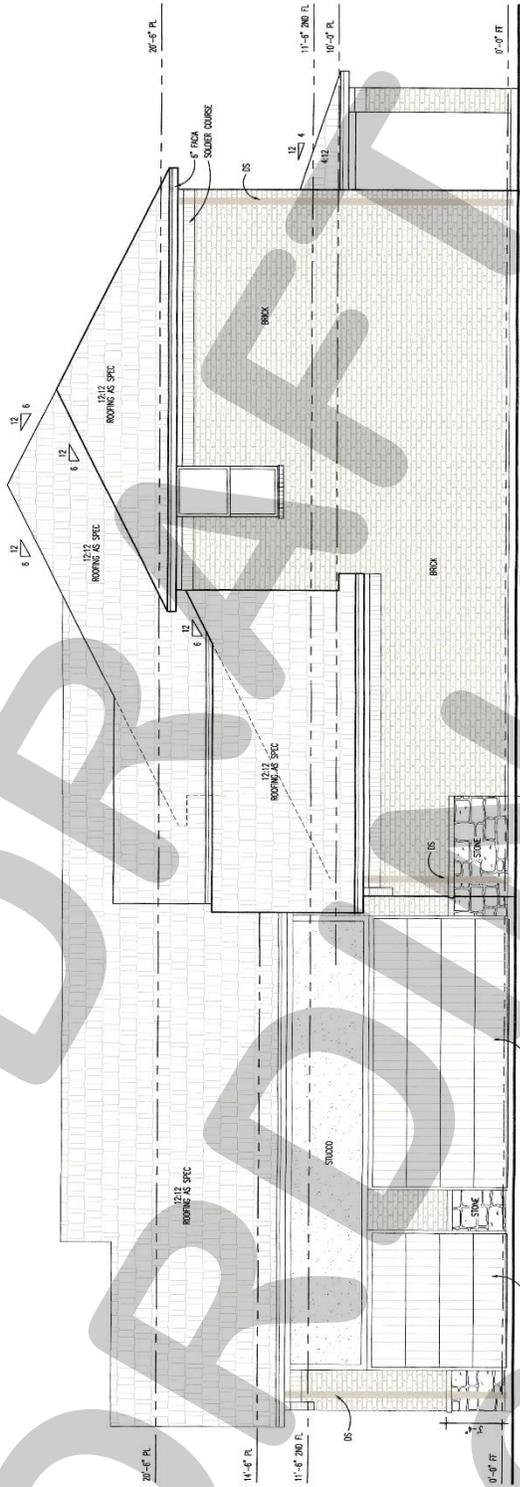
SCALE: 1/4" = 1'-0"



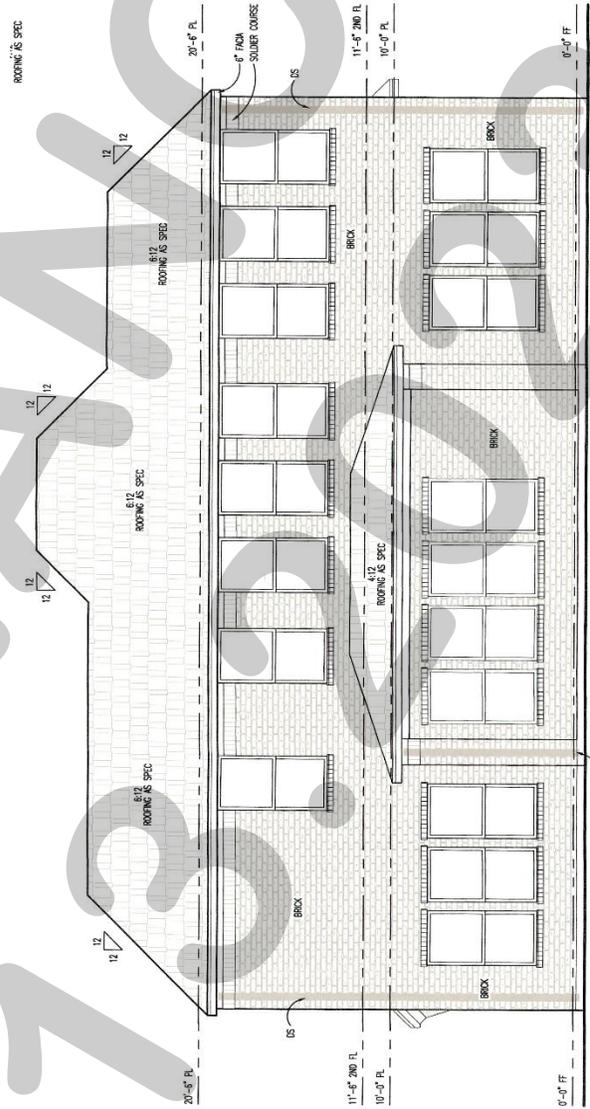
02 LEFT ELEVATION

SCALE: 1/8" = 1'-0"

Exhibit 'B':  
Building Elevations



01 LEFT ELEVATION  
SCALE: 1/4"=1'-0"



02 REAR ELEVATION  
SCALE: 1/4"=1'-0"



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**DATE:** June 13, 2023

**APPLICANT:** Alex Flores

**CASE NUMBER:** Z2023-028; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 481 Blanche Drive*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

### BACKGROUND

The subject property was originally platted as Lot 873-A of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. At the time of annexation, two (2) manufactured homes were situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. Based on aerial imagery, at some point between March 31, 2011 and April 4, 2012, the two (2) manufactured homes situated on the subject property were demolished. The subject property has remained vacant since this demolition. In September 8, 2020, the City Council approved a Specific Use Permit (SUP) under *Ordinance No. 20-36 [i.e. Case No. Z2020-032]* for the purpose of constructing a single-family home on the subject property. This Specific Use Permit (SUP) expired on September 8, 2021. The City Council approved of a Final Plat for Lot 1, Block G, Lake Rockwall Estates East Addition [*i.e. Case No. P2022-051*] on November 7, 2022.

### PURPOSE

The applicant -- *Alex Flores* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 481 Blanche Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Lynne Drive, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Blanche Drive, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Blanche Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Blanche Drive Between Evans Road and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Blanche Drive are oriented toward Blanche Drive.	The front elevation of the home will face onto Blanche Drive.
Year Built	1975-2019	N/A
Building SF on Property	1,000 SF – 2,615 SF	2,192 SF (1,767 SF of Air-Conditioned Space)
Building Architecture	Majority Modular Homes	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot yard setback.	X>20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot setback.	X>5-Feet
Rear	The rear yard setbacks appear to conform to the ten (10) feet rear yard setback.	36.33-Feet
Building Materials	Metal, Modular Paneling, Masonite Siding, and Brick.	Combination of HardiBoard Siding, Brick, and Stone
Paint and Color	Yellow, Tan, Brown, White, Green, and Teal	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle

Driveways/Garages	Flat-Front Entry, Carports	The garage will be a flat front entry garage with the driveway facing onto Blanche Drive.
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According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i) in single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage less than one (1) foot behind the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past, and that the single-family home directly west of the subject property appears to be in the same configuration as the proposed home. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Blanche Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On May 24, 2023, staff mailed 133 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park Homeowners Association as it is the only Homeowner’s Association (HOAs) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant’s request.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘A’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘B’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

22023-028

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 481 BLANCHE DR.

SUBDIVISION ROCKWALL LAKE EST #2

LOT 873-A BLOCK \_\_\_\_\_

GENERAL LOCATION COUNTY ROAD ? HORIZON RD

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_

CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER JOSE LUIS DIAZ

APPLICANT ALEX FLORES

CONTACT PERSON \_\_\_\_\_

CONTACT PERSON ALEX FLORES

ADDRESS \_\_\_\_\_

ADDRESS 466 RENEE DR

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP ROCKWALL, TX 75032

PHONE \_\_\_\_\_

PHONE (469) 534-5809

E-MAIL \_\_\_\_\_

E-MAIL afchomes75@gmail.com

### NOTARY VERIFICATION [REQUIRED]

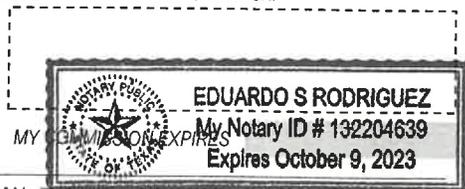
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alexandro Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF MAY, 2023

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



0 15 30 60 90 120 Feet

Z2023-028: Specific Use Permit for Residential Infill at 481 Blanche Drive

BLANCHE DR

PD-75

Case Location Map = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

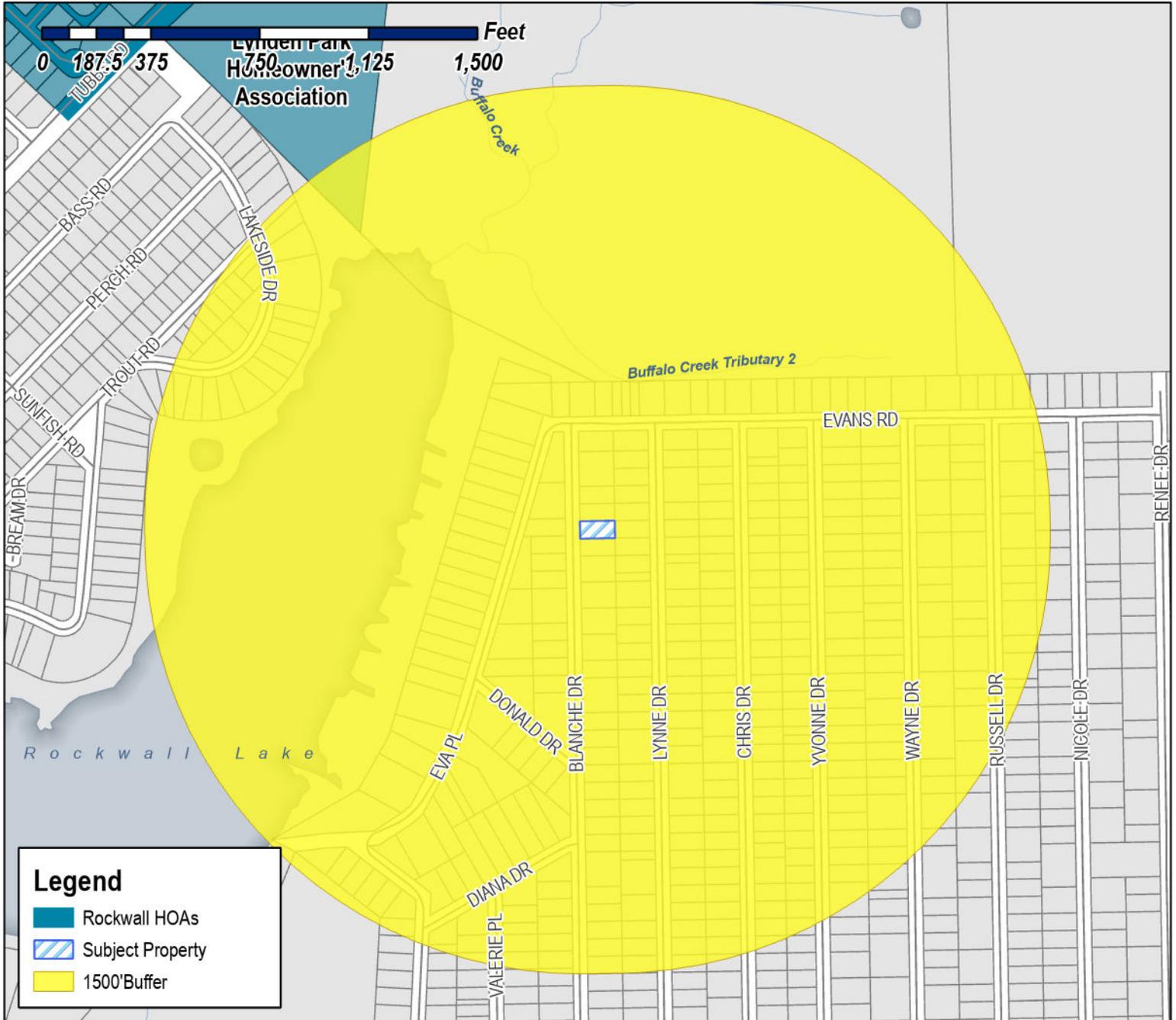




# City of Rockwall

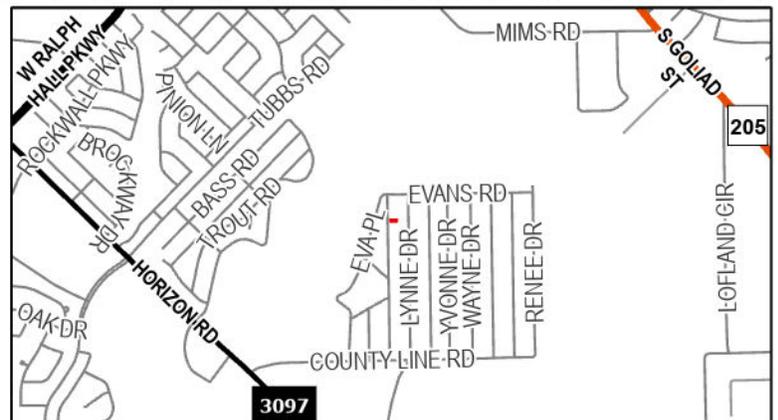
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**Case Number:** Z2023-028  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 481 Blanche Drive

**Date Saved:** 5/23/2023  
 For Questions on this Case Call (972) 771-7745



## Guevara, Angelica

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, May 23, 2023 3:19 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Program [Z2023-028]  
**Attachments:** Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 26, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 13, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 19, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-028: SUP for Residential Infill at 481 Blanche Drive**

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

Thank You,

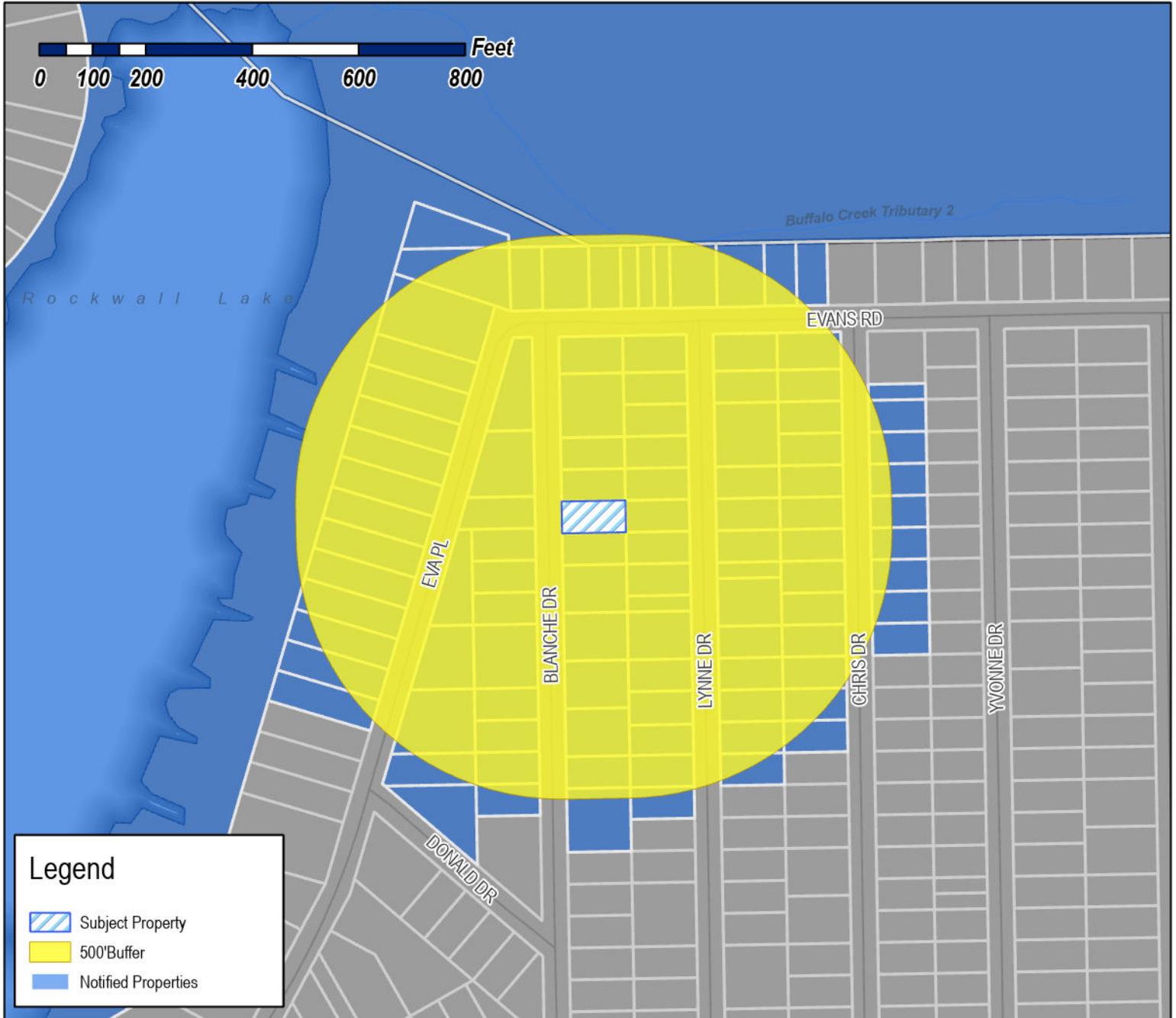
Melanie Zavala  
Planning Coordinator  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-771-6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-028  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 481 Blanche Drive

**Date Saved:** 5/23/2023

For Questions on this Case Call: (972) 771-7746



PERDOMO WILFREDO  
100 EVANS RD  
ROCKWALL, TX 75032

THELWELL LINDA  
1013 BLACKBERRY TRL  
LANCASTER, TX 75134

SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

VICMAR I LTD &  
E LOFLAND  
105 KAUFMAN ST  
ROCKWALL, TX 75087

PERALES OSCAR F AND DIANA A  
106 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
114 EVANS RD  
ROCKWALL, TX 75032

OLIVARES JAMES B & MARTINA  
1209 QUAIL DR  
GARLAND, TX 75040

FERNANDEZ URBANO ALVARADOO &  
SON ARMADO FERNANDEZ  
1235 VZ COUNTY ROAD 3425  
WILLS POINT, TX 75169

RAMIREZ ZACARIAS  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

RESIDENT  
126 DONALD DR  
ROCKWALL, TX 75032

RESIDENT  
140 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
150 EVANS RD  
ROCKWALL, TX 75032

CASTILLO ARTURO & VICTORIA  
151 PERCH RD  
ROCKWALL, TX 75032

RESIDENT  
160 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
170 EVANS RD  
ROCKWALL, TX 75032

THE LITTLE LAKE TRUST  
TRUSTEE SHANA PORTER  
17350 STATE HIGHWAY 249 STE 220 #3840  
HOUSTON, TX 77064

HERREROS BERTOLDO  
180 EVANS RD  
ROCKWALL, TX 75032

HERREROS BERTOLDO  
196 EVANS RD  
ROCKWALL, TX 75032

ADAMS JAMES W  
208 SUMMIT RIDGE DR  
ROCKWALL, TX 75087

ADAMS JAMES & DEBBIE  
208 SUMMIT RIDGE DR  
ROCKWALL, TX 75087

ORELLANA JUAN C & MARICELA  
220 CRAWFORD LN  
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN  
220 EVANS RD  
ROCKWALL, TX 75032

YANES MARIA TERESA  
230 CHRIS DR  
ROCKWALL, TX 75032

ROJAS MARCOS  
234 EVANS RD  
ROCKWALL, TX 75032

MORENO RICARDO  
275 CHRIS DR  
ROCKWALL, TX 75032

POWELL CONNIE S  
304 CARISSA COURT  
MESQUITE, TX 75150

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

QUEVEDO LUIS & FELIZA  
3326 BURNING TREE LN  
GARLAND, TX 75042

RODRIGUEZ HERMAN & APRIL  
373 BLANCHE DR  
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND  
MARGARITA ESCOBAR  
376 BLANCHE DR  
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND  
MARGARITA ESCOBAR  
376 BLANCHE DR  
ROCKWALL, TX 75032

TONG HALEY AND HANH BUU TONG  
3807 BENEVENTO CT  
KATY, TX 77493

RESIDENT  
384 LYNNE DR  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
389 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
390 BLANCHE DR  
ROCKWALL, TX 75032

SANCHEZ JULIO & MARIA  
400 CHRIS DR  
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE  
400 LYNNE  
ROCKWALL, TX 75032

VARGAS FRANCISCO  
401 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
405 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
408 BLANCHE DR  
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ  
4100 ANDYS LANE  
PARKER, TX 75002

RESIDENT  
412 LYNNE DR  
ROCKWALL, TX 75032

OLGUIN CIRILO  
412 CHRIS DR  
ROCKWALL, TX 75032

CARRILLO OMAR  
ROSALES MARIA M  
416 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
419 BLANCHE DR  
ROCKWALL, TX 75032

CARRILLO DIEGO  
419 LYNNE DR  
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA  
420 LYNNE DRIVE  
ROCKWALL, TX 75032

DOMINGUEZ V SALVADOR & DIANA  
420 LYNNE DRIVE  
ROCKWALL, TX 75032

CARDENAS RODOLFO  
424 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
429 CHRIS DR  
ROCKWALL, TX 75032

AVALOS EDUARDO & CARMEN  
432 BLANCHE DR  
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ  
434 CHRIS  
ROCKWALL, TX 75032

RESIDENT  
435 BLANCHE DR  
ROCKWALL, TX 75032

ANAYA JUAN C & RAUL  
439 PERCH RD  
ROCKWALL, TX 75032

TORRES ALONSO & MARIA DEL ROSARIO YANEZ  
441 LYNN DR  
ROCKWALL, TX 75032

TORRES ALONSO  
441 LYNNE DR  
ROCKWALL, TX 75032

RANGEL JUAN  
4427 FM 550  
ROYSE CITY, TX 75187

GOMEZ MIGUEL URBINA AND LILIA GARCIA  
RANGEL  
444 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
445 CHRIS DR  
ROCKWALL, TX 75032

LICEA JOSE & LYTA  
448 LYNNE DR  
ROCKWALL, TX 75032

LICEA DELFINO  
448 LYNNE DR  
ROCKWALL, TX 75032

LICEA JOSE DELFINO  
448 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
453 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
455 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
457 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
458 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
462 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
463 EVA PL  
ROCKWALL, TX 75032

RESIDENT  
464 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
465 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
472 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
473 LYNNE DR  
ROCKWALL, TX 75032

JARAMILLO GABRIELA  
473 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
474 CHRIS DR  
ROCKWALL, TX 75032

BENTLEY FRED W  
476 BLANCHE DR  
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
481 BLANCHE DR  
ROCKWALL, TX 75032

CASTILLO IGNACIO  
481 LYNNE DR  
ROCKWALL, TX 75032

CASTILLO IGNACIO  
481 LYNNE DR  
ROCKWALL, TX 75032

GARZA ISAI  
482 EVA PL  
ROCKWALL, TX 75032

RESIDENT  
485 EVA  
ROCKWALL, TX 75032

SMITH HELEN A  
486 CHRIS DR  
ROCKWALL, TX 75032

HERNANDEZ DANIEL CONTRERAS AND  
PATRICIA CARREON DE CONTRERAS  
488 BLANCHE DRIVE  
ROCKWALL, TX 75032

CASTRO MATEO IBARRA & ADELA SIERRA  
IBARRA  
490 LYNNE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
491 LYNNE DR  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR  
ROCKWALL, TX 75032

VILLEGAS RANFERI LUVIANO AND  
JAQUELINE ROSALES  
494 EVA PLACE  
ROCKWALL, TX 75032

DIAZ JOSE LUIS  
494 LYNNE DR  
ROCKWALL, TX 75032

DIAZ JOSE LUIS & MARICELA  
494 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
496 CHRIS DR  
ROCKWALL, TX 75032

SUAREZ ERIKA & ALFREDO ESTRADA  
497 BLANCHE  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE  
ROCKWALL, TX 75033

DIAZ MARIA L FLORES  
503 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
505 EVA PL  
ROCKWALL, TX 75032

RESIDENT  
506 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
506 EVA  
ROCKWALL, TX 75032

AGUILAR ROSALINA  
507 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
510 BLANCHE DR  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT  
GARLAND, TX 75043

RESIDENT  
513 CHRIS DR  
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
517 LYNNE DR  
ROCKWALL, TX 75032

GARCIA JUAN  
519 BLANCHE  
ROCKWALL, TX 75087

RESIDENT  
520 EVA  
ROCKWALL, TX 75032

FLORES JAIME W &  
MARLENE CASTRO  
520 LYNNE DR  
ROCKWALL, TX 75032

MONTANEZ MARIA LAUREN  
5245 COUNTY ROAD 2515  
ROYSE CITY, TX 75189

RESIDENT  
528 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
529 EVA  
ROCKWALL, TX 75032

RESIDENT  
532 EVA  
ROCKWALL, TX 75032

RESIDENT  
532 LYNNE DR  
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS FRANCISCO  
532 BLANCHE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
535 BLANCHE DR  
ROCKWALL, TX 75032

RESIDENT  
538 LYNNE DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
540 CHRIS DR  
ROCKWALL, TX 75032

RESIDENT  
541 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
548 EVA  
ROCKWALL, TX 75032

RESIDENT  
551 LYNNE DR  
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ  
552 LYNNE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
558 EVA  
ROCKWALL, TX 75032

MEDINA CESAR  
570 EVA PL  
ROCKWALL, TX 75032

RESIDENT  
582 EVA  
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &  
ENRIQUE RENE ORTIZ GARCIA  
594 EVA PL  
ROCKWALL, TX 75032

RESIDENT  
602 EVA  
ROCKWALL, TX 75032

DEJESUS SANTOS  
616 EVA PL  
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ  
630 EVA  
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS  
6938 STATE HIGHWAY 50  
COMMERCE, TX 75428

GUEVARA JOSE E  
6938 STATE HIGHWAY 50  
COMMERCE, TX 75428

ROBLES DONERY ALEXANDER & MAGDENLENA  
AVARADO  
8306 AMERICAS CUP  
ROWLETT, TX 75089

RANGEL LUIS GERARDO AND  
MARIA DEL ROCIO ZARATE  
907 WILLOW RIDGE  
ROCKWALL, TX 75032

DELGADO JUAN AND  
ADELAIDA REYES REYES AND PABLO E STRADA  
REYES AND  
JUAN J ESTRADA REYES 558 EVA  
ROCKWALL, TX 75087

RAOFPUR DAVID & SAADAT  
CHILDREN'S EDUCATION TRUST  
PO BOX 2051  
DEL MAR, CA 92014

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2023-028: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2023-028: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-028: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I'm in favor because my property is going to increase it's value.

Name:

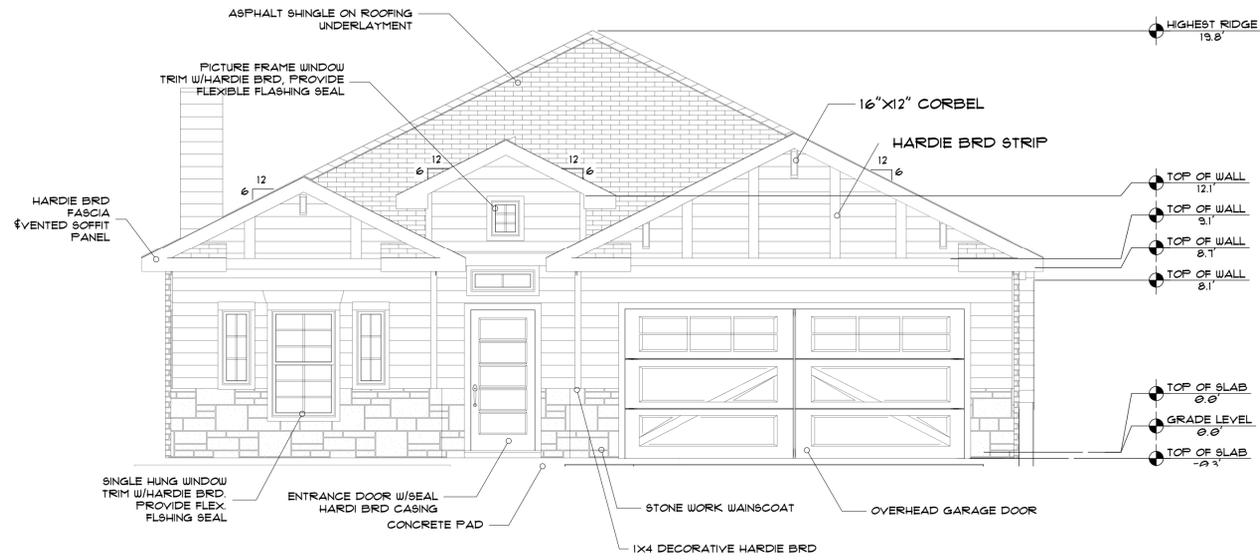
Maricela and Juan C. Orrellans

Address:

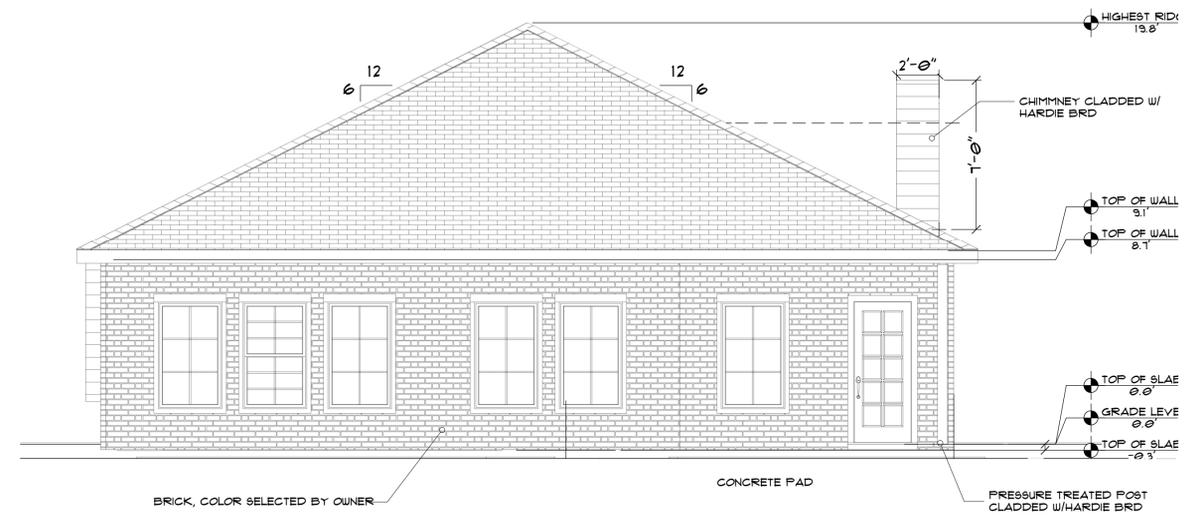
[REDACTED]

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

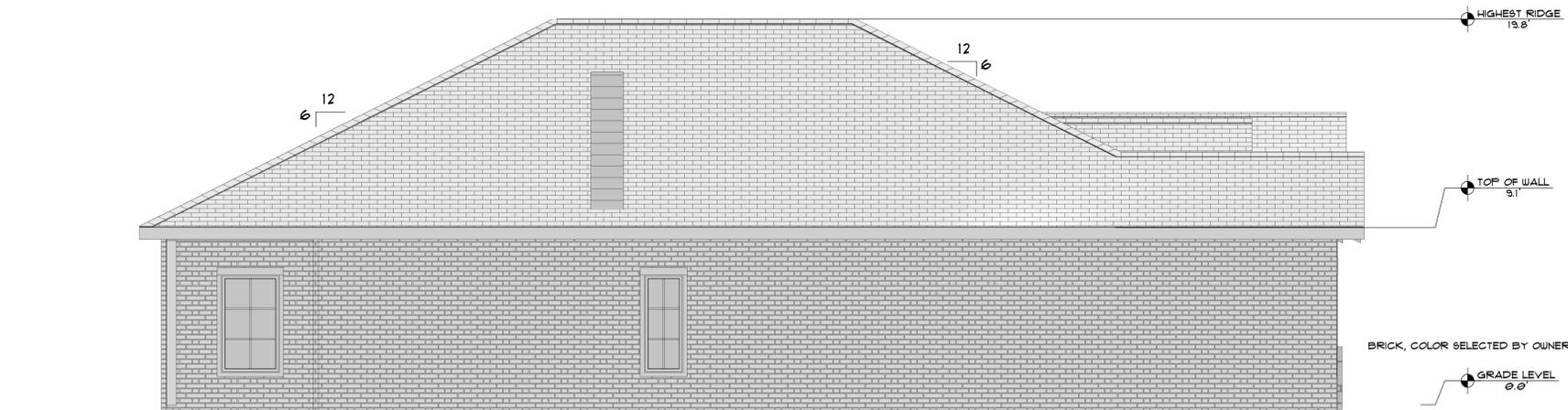
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



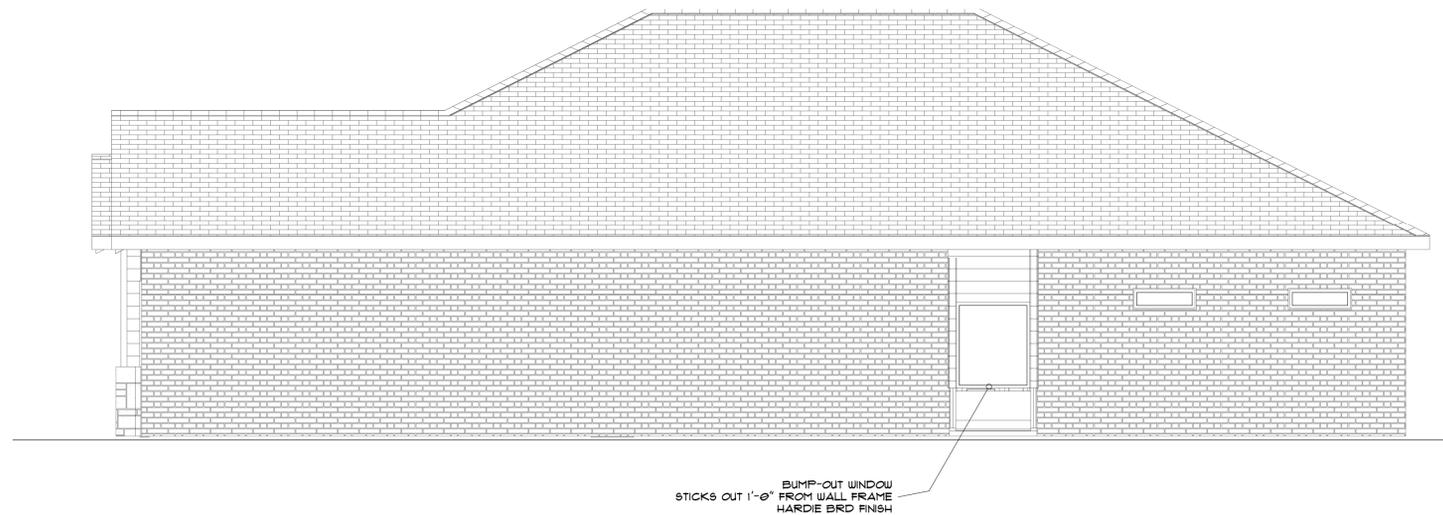
1 ELEVATION- FRONT VIEW  
SCALE: 1/4"=1'



2 ELEVATION- REAR VIEW  
SCALE: 1/4"=1'



3 ELEVATION- LEFT VIEW  
SCALE: 1/4"=1'



4 ELEVATION- RIGHT VIEW  
SCALE: 1/4"=1'

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

**TDG THE DRAFTER GUY**  
DRAFTING & DESIGN  
8000 US 380, CROSSROADS, TX, ST#100  
469-879-6130

Project:  
**Proposed Single Story Residence at  
481 Blanche st, Rockwall, Tx**

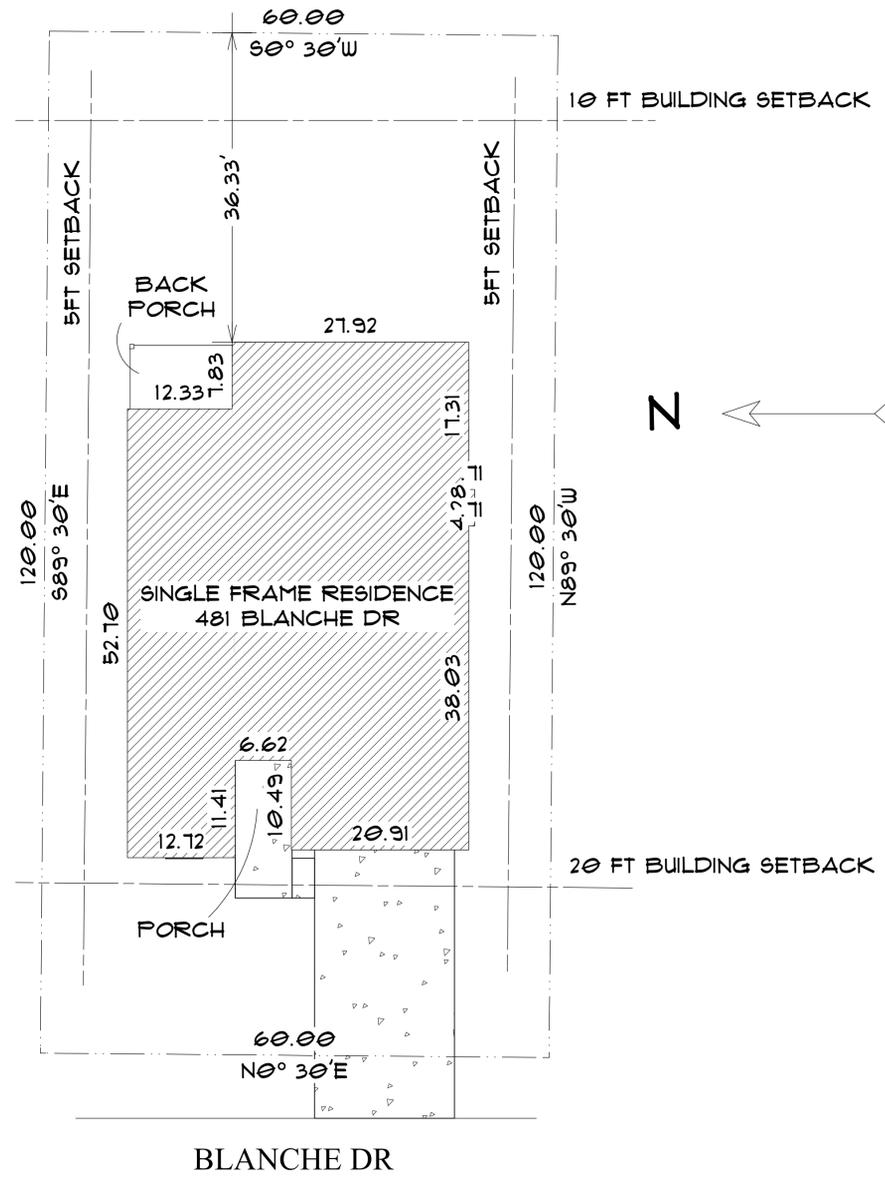
Client:  
**Erick  
Mendoza**

Description:  
**Elevations**

Date:  
3/23/2020

Scale:  
1/4"=1'

Sheet:  
**A3.2**



1 SITE PLAN  
SCALE: 1"=20'

**SITE PLAN LEGEND**  
 - - - - PROPERTY BOUNDARY  
 - - - - PROPERTY SETBACK

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

**TDG THE DRAFTER GUY**  
 DRAFTING & DESIGN  
 8000 US 380, CROSSROADS, TX, ST#100  
 469-579-6130

Project:  
**Proposed Single Story Residence at  
 481 Blanche st, Rockwall, Tx**

Client:  
**Erick  
 Mendoza**

Description:  
**Site Plan &  
 Erosion  
 Control Plan**

Date:  
 3/23/2020

Scale:  
 1/4"=1'

Sheet:  
**A2.1**

**DOOR AND WINDOW NOTES:**

-EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT.

-EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

-ALL WALK-THRU DOORS SHALL BE SOLID CORE INTERIOR DOORS SHALL BE PAINTED. -ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING DOORS.

BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES.

DOOR SHALL BE SELF CLOSING EXTERIOR EXIT DOORS WILL BE 36" MIN.

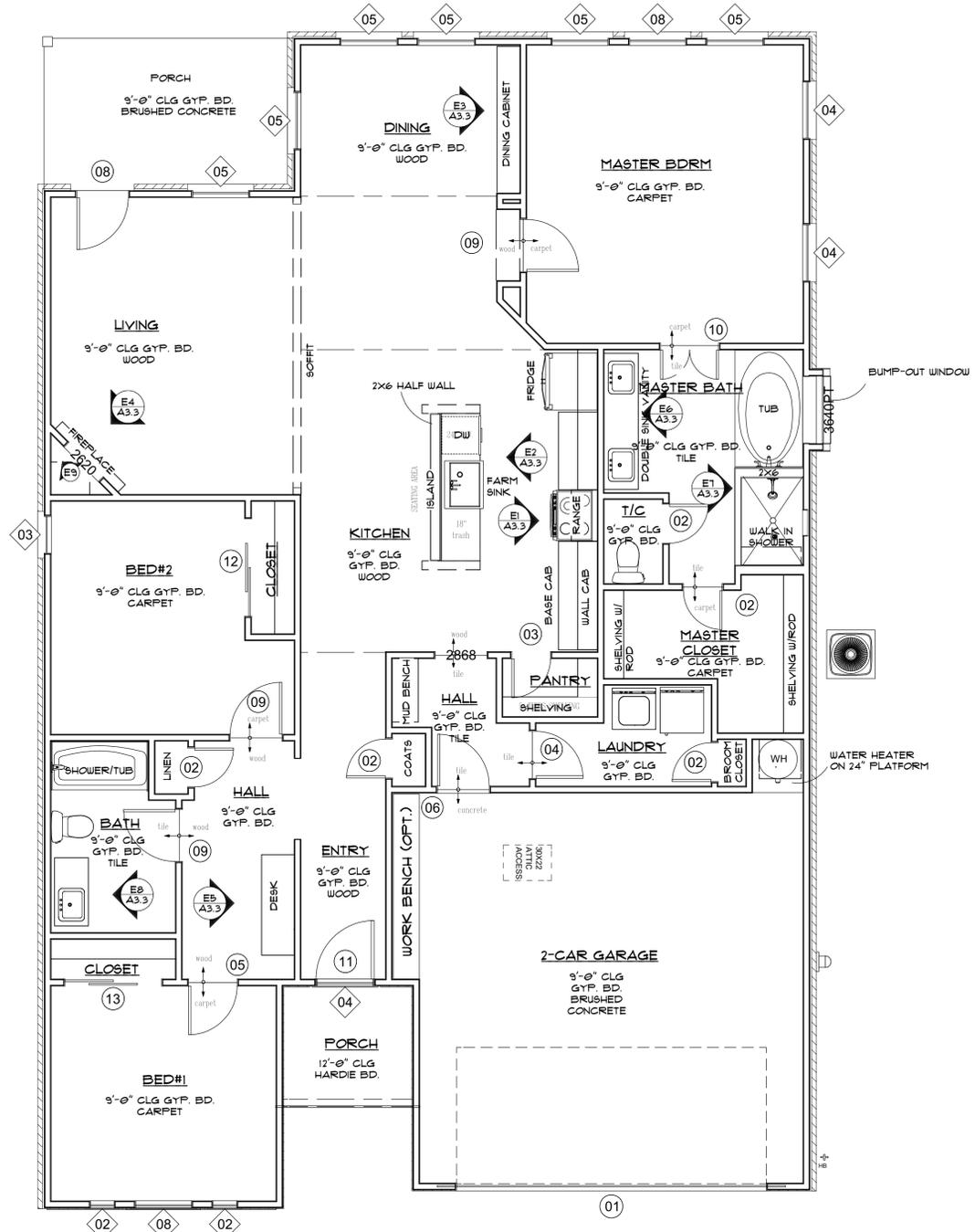
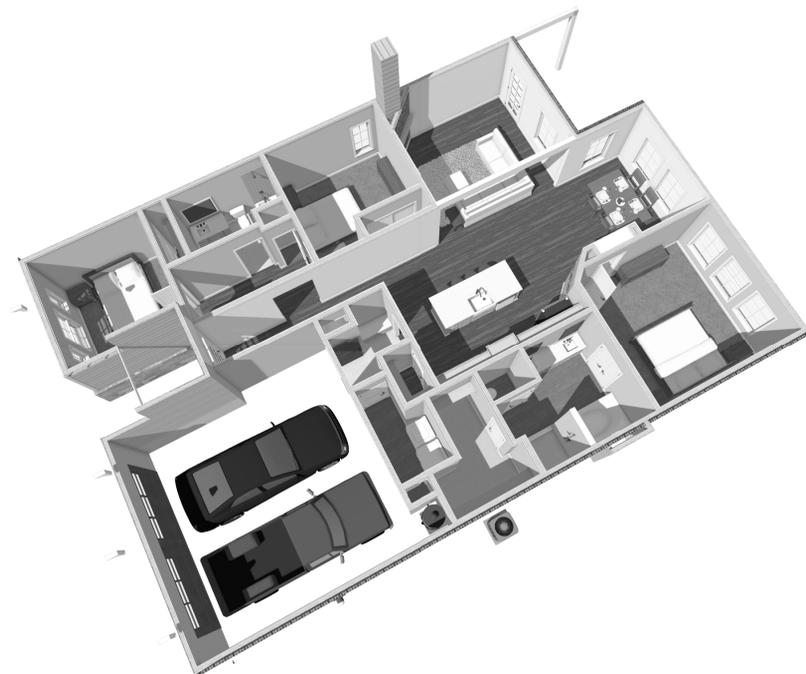
NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	COMMENTS
01	1418FX	1	2	1418FX	16"	20"	11"X21"		FIXED GLASS	2X6X20" (2)	
02	1436FX	2	1	1436FX	16"	42"	11"X43"		FIXED GLASS	2X6X20" (2)	
03	2050FX	1	1	2050FX	24"	60"	25"X61"	YES	FIXED GLASS	2X6X28" (2)	
04	3010FX	3	1	3010FX	36"	12"	31"X13"		FIXED GLASS	2X6X40" (2)	
05	3050FX	6	1	3050FX	36"	60"	31"X61"		FIXED GLASS	2X6X40" (2)	
06	3050SH	2	1	3050SH	36"	60"	31"X61"	YES	SINGLE HUNG	2X6X40" (2)	
09	3640FX	1	1	3640FX	41 1/2"	48"	42 1/2"X49"		FIXED GLASS	2X6X45 1/2" (2)	

DOOR SCHEDULE										
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	COMMENTS
01	16070	1	16070	192"	84"		GARAGE-GARAGE DOOR CHD11	2X12X200" (2)	1 3/4"	
02	2068	5	2068 L IN	24"	80"		HINGED-DOOR P03	2X6X29" (2)	1 3/8"	
03	2068	1	2068 R IN	24"	80"		HINGED-DOOR P03	2X6X29" (2)	1 3/8"	
04	2568	1	2568 R IN	29"	80"		HINGED-DOOR P03	2X6X34" (2)	1 3/4"	
05	2668	1	2668 R IN	30"	80"		HINGED-DOOR P03	2X6X35" (2)	1 3/8"	
06	2868	1	2868 L EX	32"	80"		EXT. HINGED-DOOR P03	2X6X37" (2)	1 3/8"	
08	2868	1	2868 R EX	32"	80"		EXT. HINGED-DOOR F05	2X6X37" (2)	1 3/4"	
09	2868	3	2868 R IN	32"	80"		HINGED-DOOR P03	2X6X37" (2)	1 3/8"	
10	3068	1	3068 L/R IN	36"	80"		DOUBLE HINGED-DOOR P03	2X6X41" (2)	1 3/8"	
11	3068	1	3068 R EX	36"	80"		EXT. HINGED-DOOR F04	2X6X41" (2)	1 3/4"	
12	5068	1	5068 L IN	60"	80"		SLIDER-DOOR P03	2X8X65" (2)	1 3/8"	
13	5068	1	5068 R IN	60"	80"		SLIDER-DOOR P03	2X8X65" (2)	1 3/8"	

BRICK CALCULATIONS					
	FRONT	LEFT	RIGHT	REAR	TOTAL
TOTAL WALL (S.F.)	315.8	493.7	486.7	210.9	1,507.1 S.F.
TOTAL MASONRY	58.0	493.7	486.7	210.9	1,249.3 S.F.
TOTAL SIDING	251.8	0	0	0	251.8 S.F.
BRICK %	18.4%	100.00%	100.00%	100.00%	
TOTAL MASONRY (% HOUSE)	22.9%				



**1 MASTER FLOOR PLAN - 1ST FLOOR**  
SCALE: 1/4"=1'

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

**TDG THE DRAFTER GUY**  
DRAFTING & DESIGN  
8000 US 380, CROSSROADS, TX, 75110  
469-979-6150

Project:  
**Proposed Single Story Residence at 481 Blanche st, Rockwall, Tx**

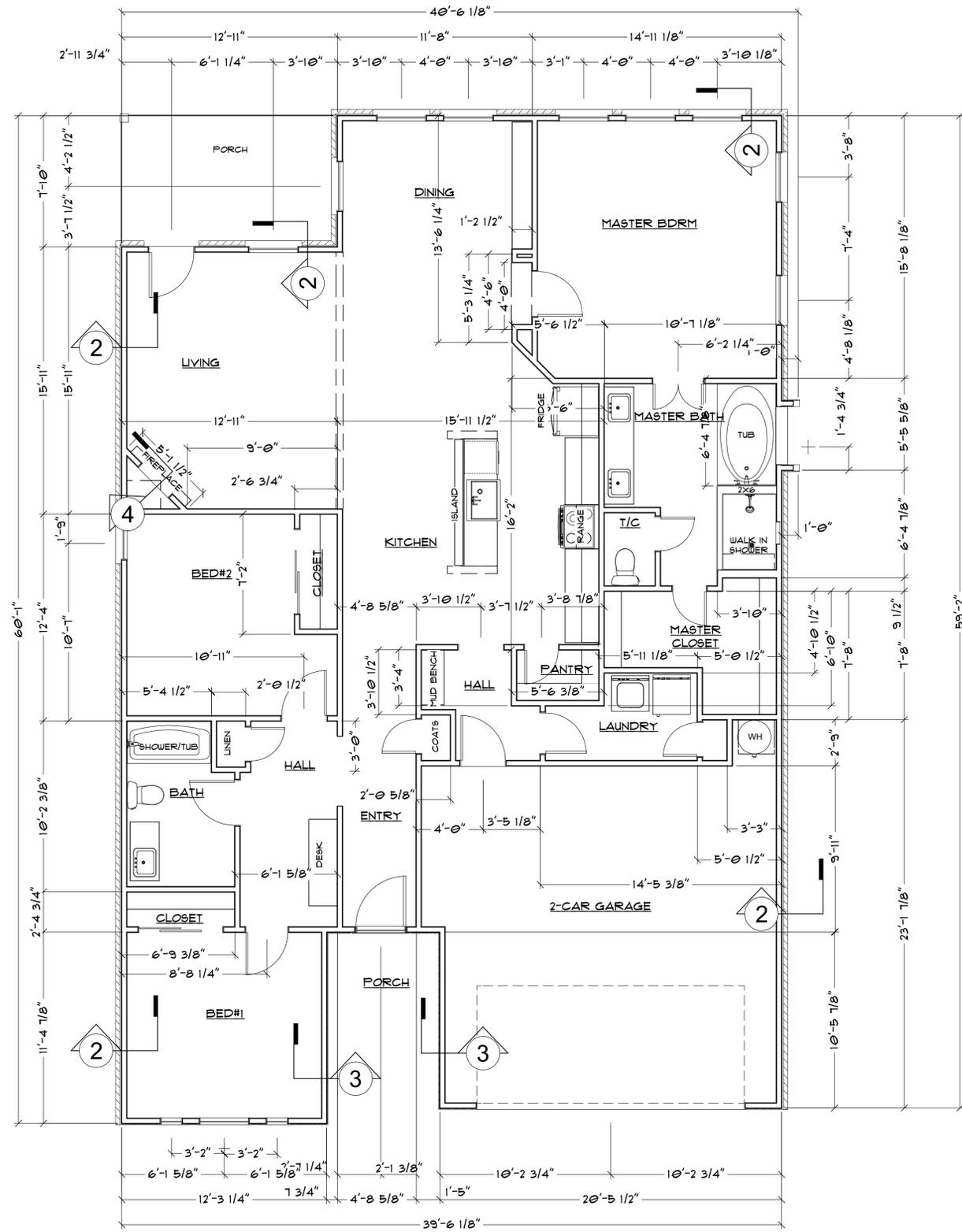
Client:  
**Erick Mendoza**

Description:  
**Master Floorplan**

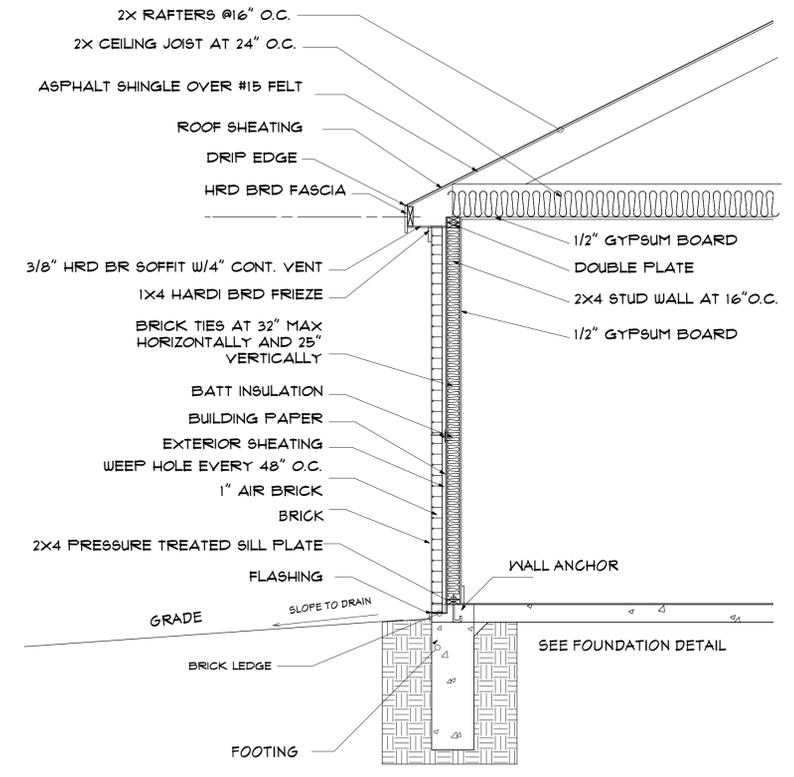
Date:  
3/23/2020

Scale:  
1/4"=1'

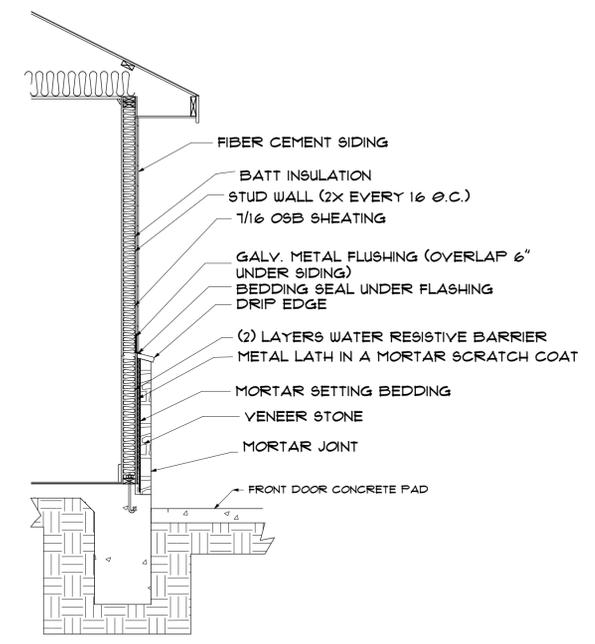
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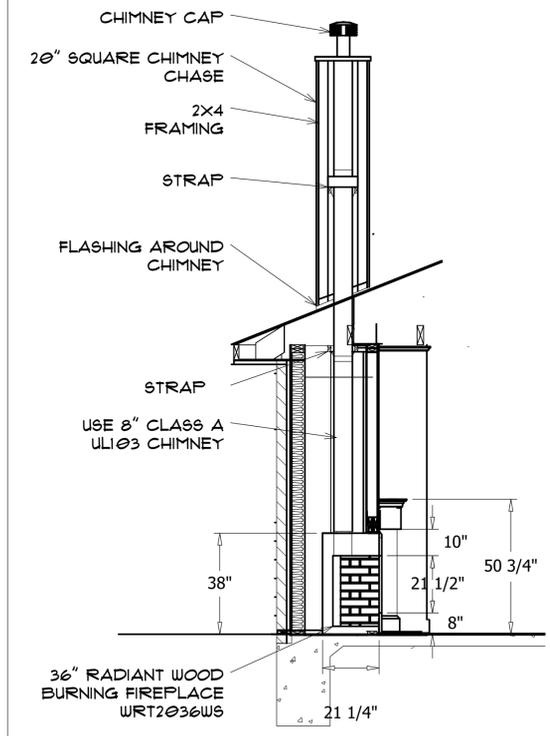
**1** DIMENSIONED FLOOR PLAN  
SCALE: 1/4"=1'



**2** WALL DETAIL @ BRICK  
SCALE: 1/2"=1'



**3** WALL DETAIL @ STONE/SIDING  
SCALE: 1/2"=1'



**4** CHIMNEY DETAIL  
SCALE: 3/8"=1'

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

**TDG THE DRAFTER GUY**  
DRAFTING & DESIGN  
8000 US 380, CROSSROADS, TX, ST#100  
469-979-6130

Project:  
**Proposed Single Story Residence at  
481 Blanche st, Rockwall, Tx**

Client:  
**Erick  
Mendoza**

Description:  
**Dimensioned  
Plan**

Date:  
3/23/2020

Scale:  
1/4"=1'

Sheet:  
**A3.1**



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-028

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
435 Blanche Drive	Manufactured Home	1998	1,200	528	Siding
455 Blanche Drive	Manufactured Home	1999	1,000	256	Siding
473 Blanche Drive	Manufactured Home	1975	1,354	120	Siding
481 Blanche Drive	Vacant	N/A	N/A	N/A	N/A
497 Blanche Drive	Manufactured Home	1975	1,464	48	Siding
507 Blanche Drive	Manufactured Home	1985	1,576	N/A	Siding
519 Blanche Drive	Manufactured Home	1983	1,064	612	Siding
532 Blanche Drive	Manufactured Home	2007	1,948	N/A	Siding
510 Blanche Drive	Manufactured Home	1980	1,352	592	Siding
488 Blanche Drive	Single-Family Home	2019	2,462	N/A	Brick and Stone
476 Blanche Drive	Manufactured Home	1984	2,615	736	Siding
464 Blanche Drive	Manufactured Home	1985	1,100	N/A	Siding
	AVERAGES:	1990	1,558	413	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-028

**PLANNING AND ZONING DEPARTMENT**

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435 Blanche Drive



455 Blanche Drive



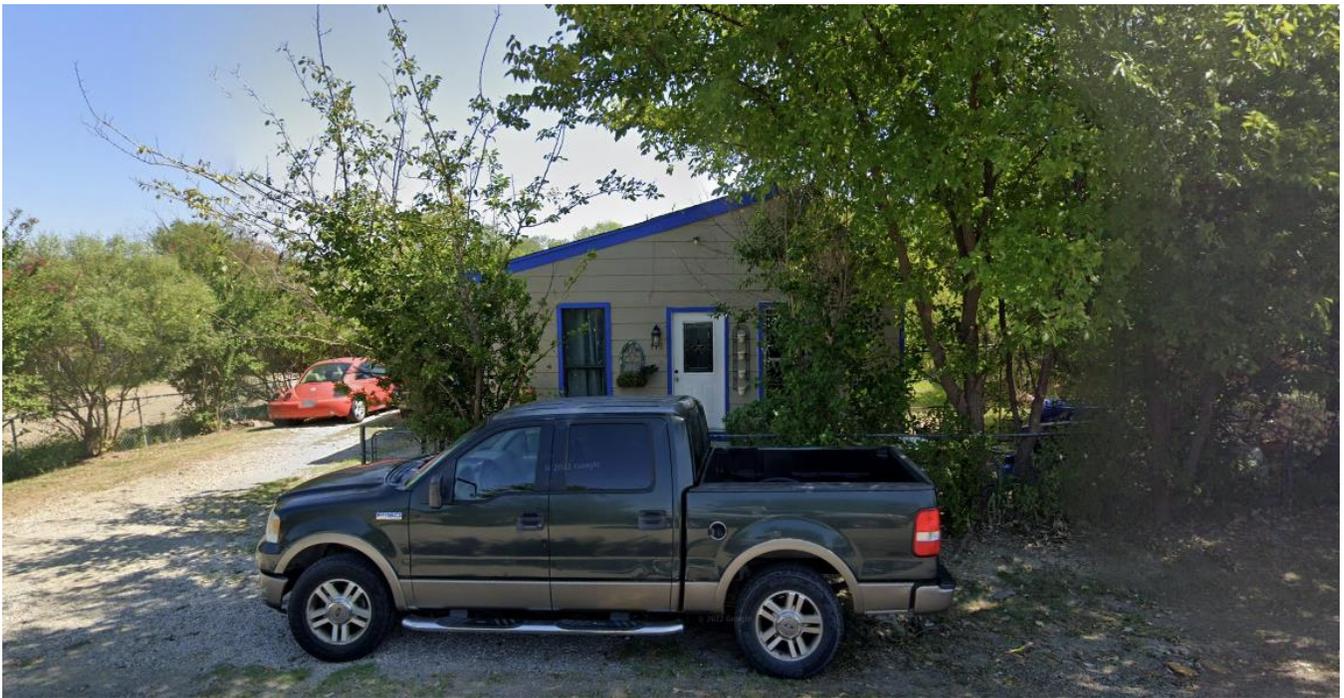
## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-028

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473 Blanche Drive



481 Blanche Drive



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-028

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497 Blanche Drive



507 Blanche Drive



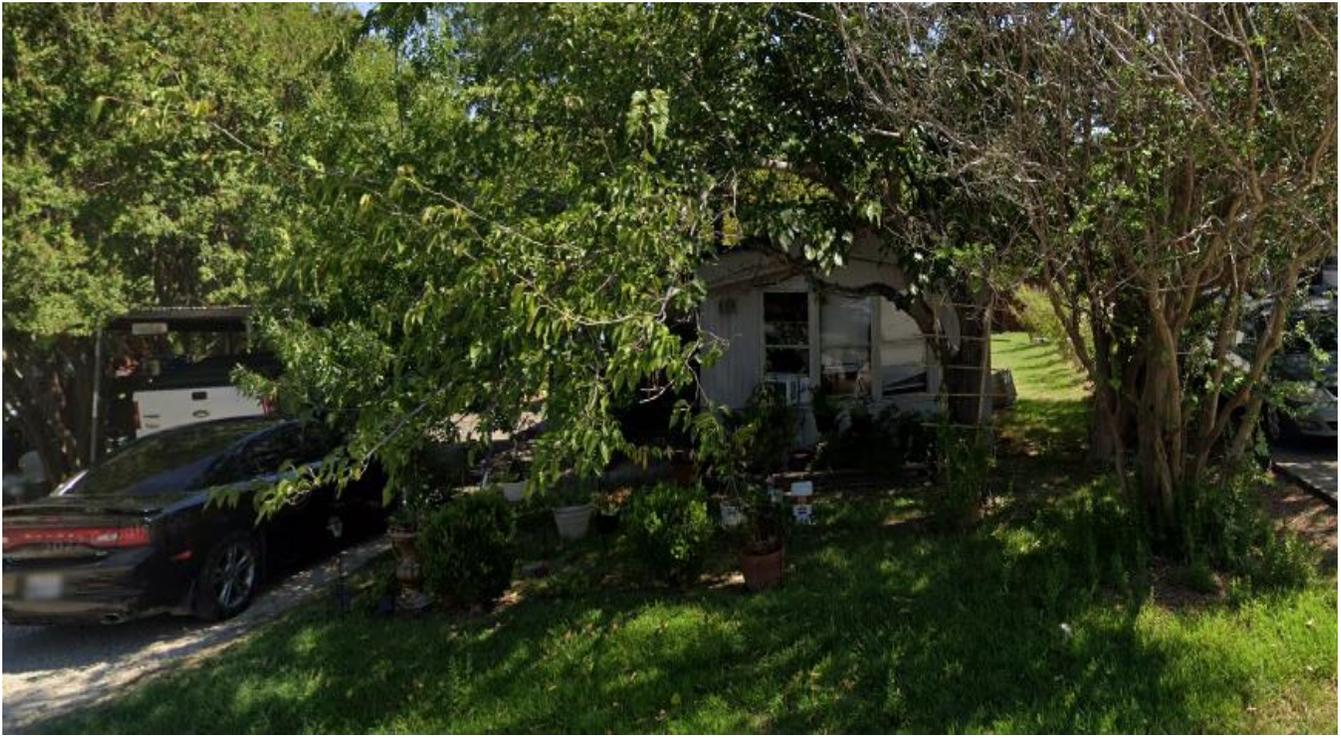
## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-028

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519 Blanche Drive



532 Blanche Drive



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-028

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510 Blanche Drive



488 Blanche Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-028

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



476 Blanche Drive



464 Blanche Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 873-A OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Alex Flores for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 17<sup>th</sup> OF JULY, 2023.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

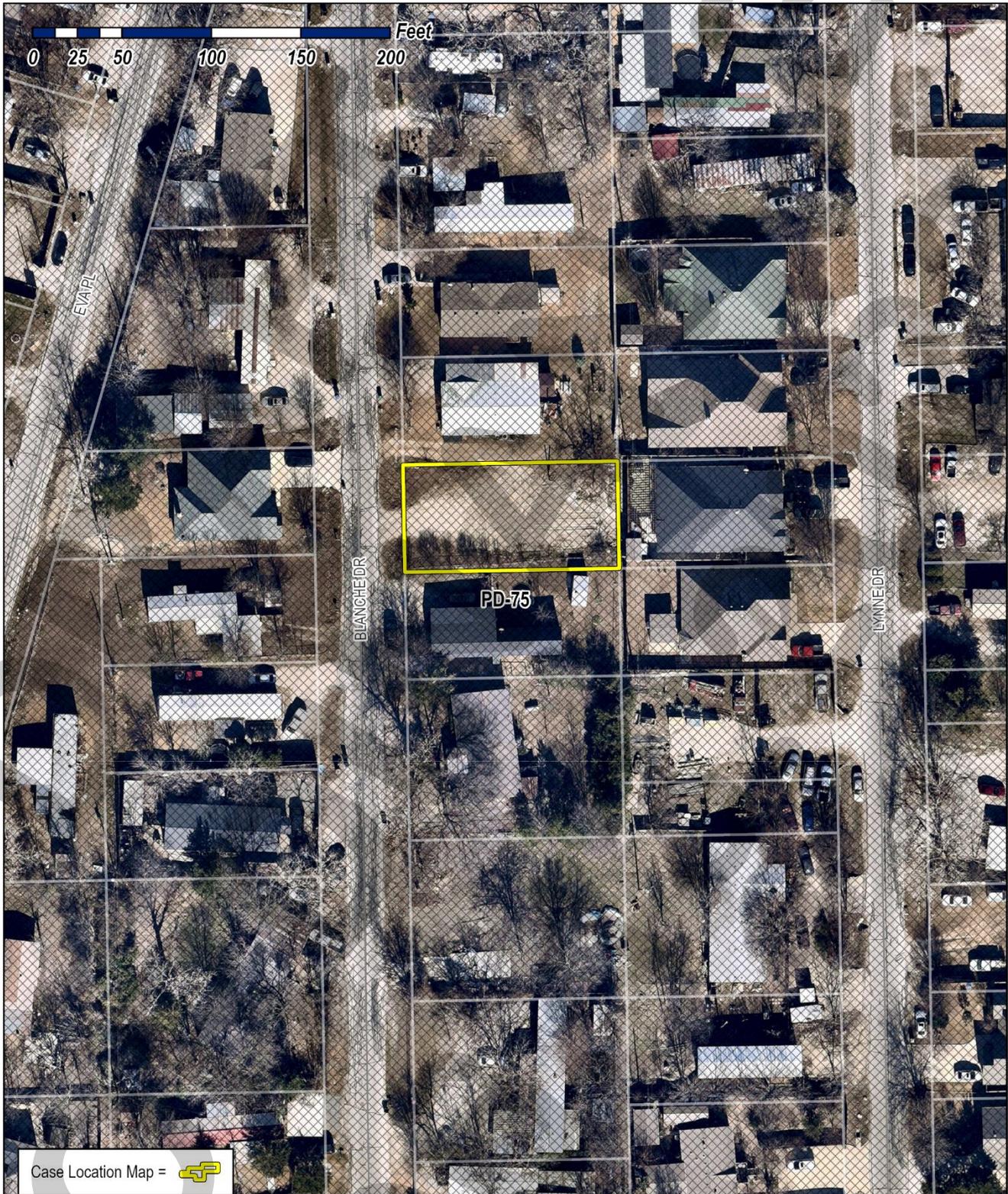
1<sup>st</sup> Reading: June 19, 2023

2<sup>nd</sup> Reading: July 17, 2023

**Exhibit 'A':**  
**Location Map and Residential Plot Plan**

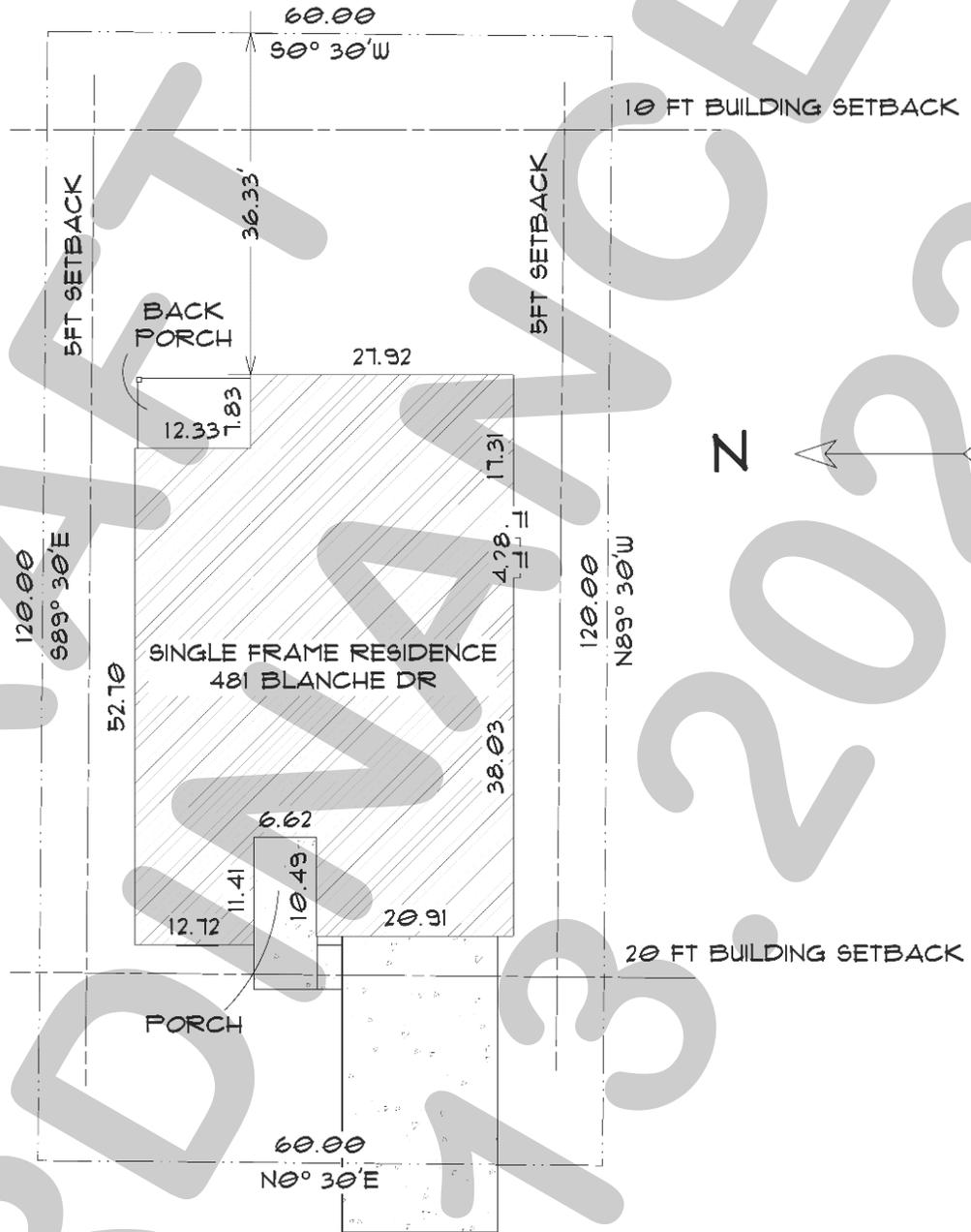
Address: 481 Blanche Drive

Legal Description: Lot 873-A of the Lake Rockwall Estates Phase 2 Addition



Case Location Map = 

**Exhibit 'A':**  
*Location Map and Residential Plot Plan*



BLANCHE DR



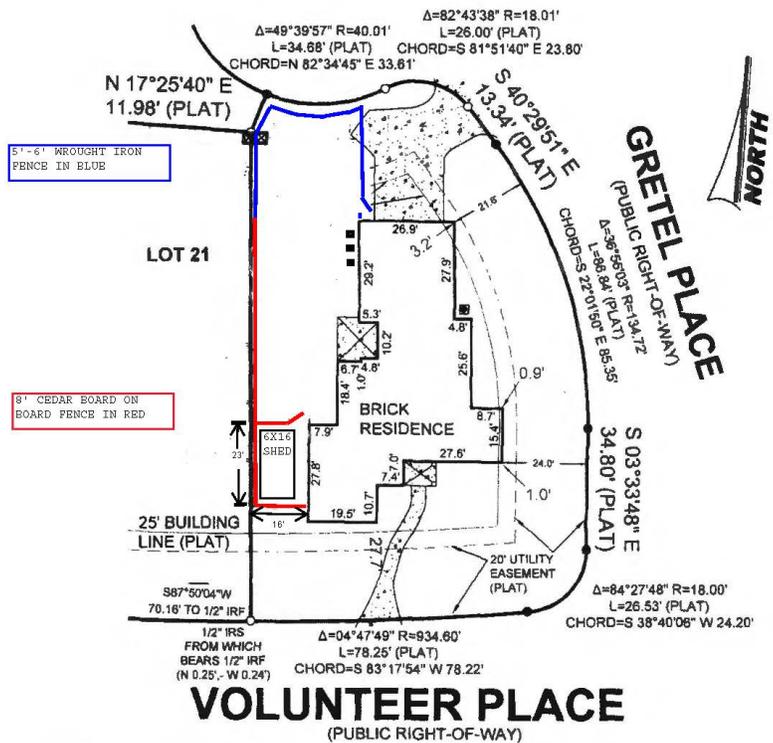


**TO:** Planning and Zoning Commission  
**FROM:** Bethany Ross, *Planner*  
**DATE:** June 13, 2023  
**SUBJECT:** MIS2023-007; *Exception for a Front Yard Fence for 6102 Volunteer Place*

The applicants, Jeff and Dana Macalik, are requesting the approval of an exception for a front yard fence. The subject property is located on a 0.2548-acre parcel of land (i.e. Lot 22, Block A, Chlanders Landing #7 Addition) addressed as 6102 Volunteer Place. The applicant's fence exhibit indicates that the proposed front yard fence will be: [1] constructed using wrought-iron, [2] be 60-inches to 72-inches in height, and [3] be 50.00% transparent.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as "(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure." In addition, Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that, "(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission..." This section goes on to lay out the criteria to be considered by the Planning and Zoning Commission when reviewing exceptions for front yard fences. This criterion is as follows: (a) the fence is to be 50.00% transparent, (b) the fence does not exceed four (4) feet (or 48-inches) in height, and (c) opaque fences should be prohibited. In this case, the fence meets most of the requirements for a front yard fence with the exception of the height requirements; however, staff should point out that this particular property is unique in that it requires a front yard setback on three (3) of the four (4) sides of the property. In addition, the rear yard of the property is directly adjacent to a cul-de-sac. With this being said, this request will require an exception for a front yard fence and to the front yard fence height requirements from the Planning and Zoning Commission.

Staff should note that the front yard fence requirements were written with the intent of restricting front yard fences that completely or partially enclose or impair visibility of the primary structure, and that the applicant's fence *does not* appear to be intended to enclose or impair visibility of the primary structure. Staff should also point out that no properties front onto the cul-de-sac on the same side as the subject property. Based on this the proposed front yard fence *does not* appear to have a negative impact on any other adjacent residential property; however, front yard fences are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on June 13, 2023.



**FIGURE 1:** PROPOSED FRONT YARD FENCE LOCATION (BLUE LINE IS THE FENCE LOCATION)



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

6102 Volunteer Pl.

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Chandlers Landing

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Jeff + Dana Macalik

APPLICANT

CONTACT PERSON

Jeff

CONTACT PERSON

ADDRESS

6102 Volunteer Pl.

ADDRESS

CITY, STATE & ZIP

Rockwall Tx 75082

CITY, STATE & ZIP

PHONE

214-674-1072

PHONE

E-MAIL

jeff@retrotek.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE

*DK Macalik*



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



MIS2023-007: Variance Request for 6102  
Volunteer Place



Case Location Map = 

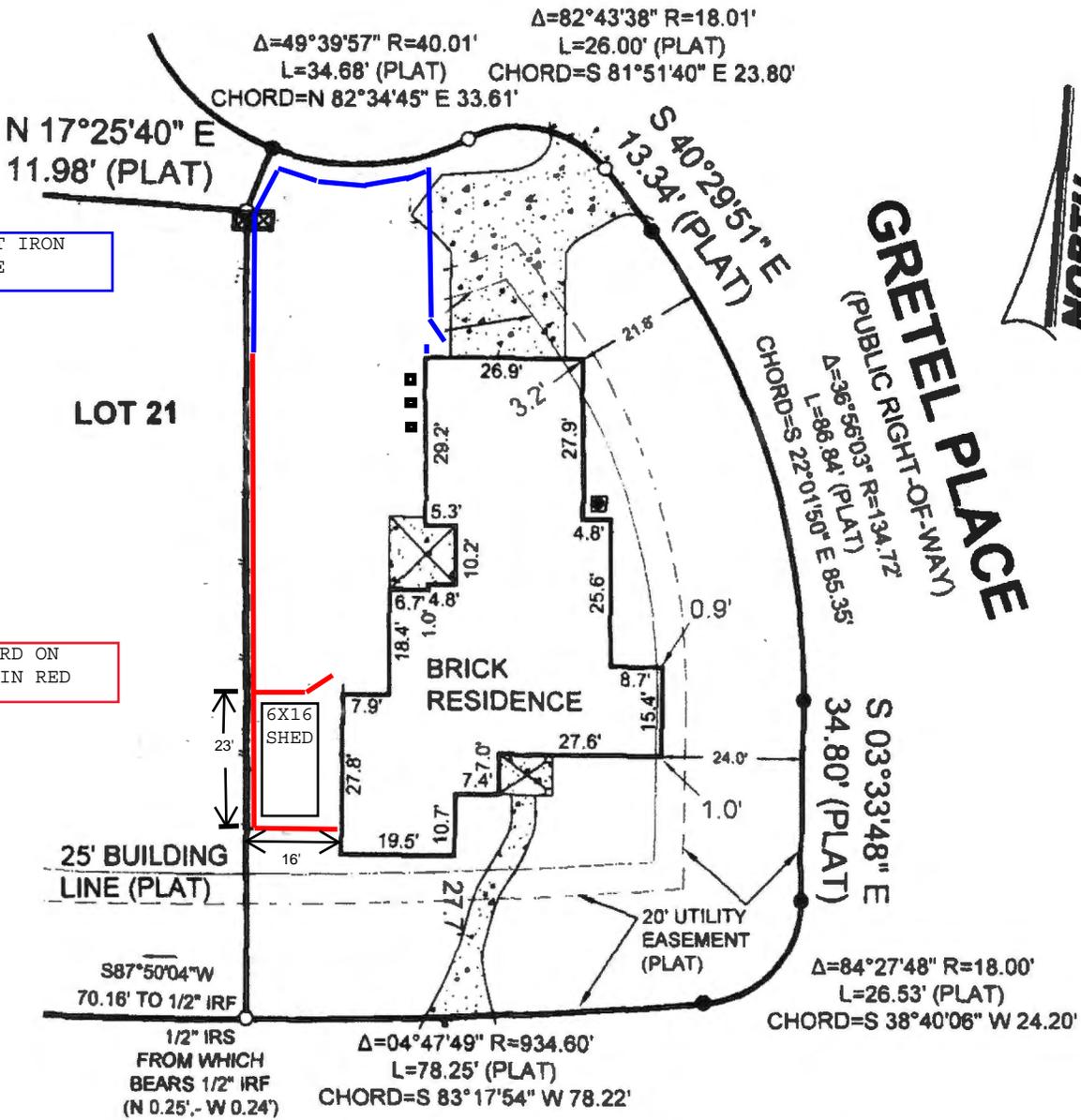


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





5'-6" WROUGHT IRON FENCE IN BLUE

8' CEDAR BOARD ON BOARD FENCE IN RED

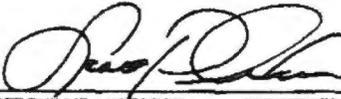
NOTE: THIS PROPERTY IS SUBJECT TO THE EASEMENT RECORDED IN VOL. 169, PG. 175 D.R.R.C.T.

LEGEND			
● 1/2" IR FOUND	⊙ X-FOUND	⊕ UTILITY POLE	— OHU — OVERHEAD UTILITY LINE
○ 1/2" IR SET	⊙ X-SET	⊕ WATER METER	— X — BARBED WIRE FENCE
⊠ TELE BOX	● PK NAIL FOUND	⊕ GAS METER	□ BRICK COLUMN
□ CABLE BOX	⊕ PK NAIL SET	⊕ A.C. PAD	○ CHAINLINK FENCE
			—//— WOOD FENCE
			—//— ASPHALT
			—//— BUILDING LINE
			—//— EASEMENT
			—//— BOUNDARY
			▨ CONCRETE
			▨ GRAVEL
			▨ BRICK
			▨ STONE
			▨ WOOD DECK

To American Trinity Title Company in connection with the transaction described in GF No. RK08-020335. The plat shown hereon is a correct and accurate representation of the property, lines and dimensions are shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated, and EXCEPT AS SHOWN, there are no visible and apparent easements, encroachments or protrusions on the ground.

SCALE 1" = 30'  
 DATE 01/14/2008  
 JOB NO. 08-0089  
 DRAWN BY 002



  
 SCOTT PHILLIP ANDERSON REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4888  
**A & W SURVEYORS, INC.**  
 P.O. BOX 870029, MESQUITE, TX. 75187  
 PHONE: (972) 681-4975 FAX: (972) 681-4954  
 WWW.AWSURVEY.COM













